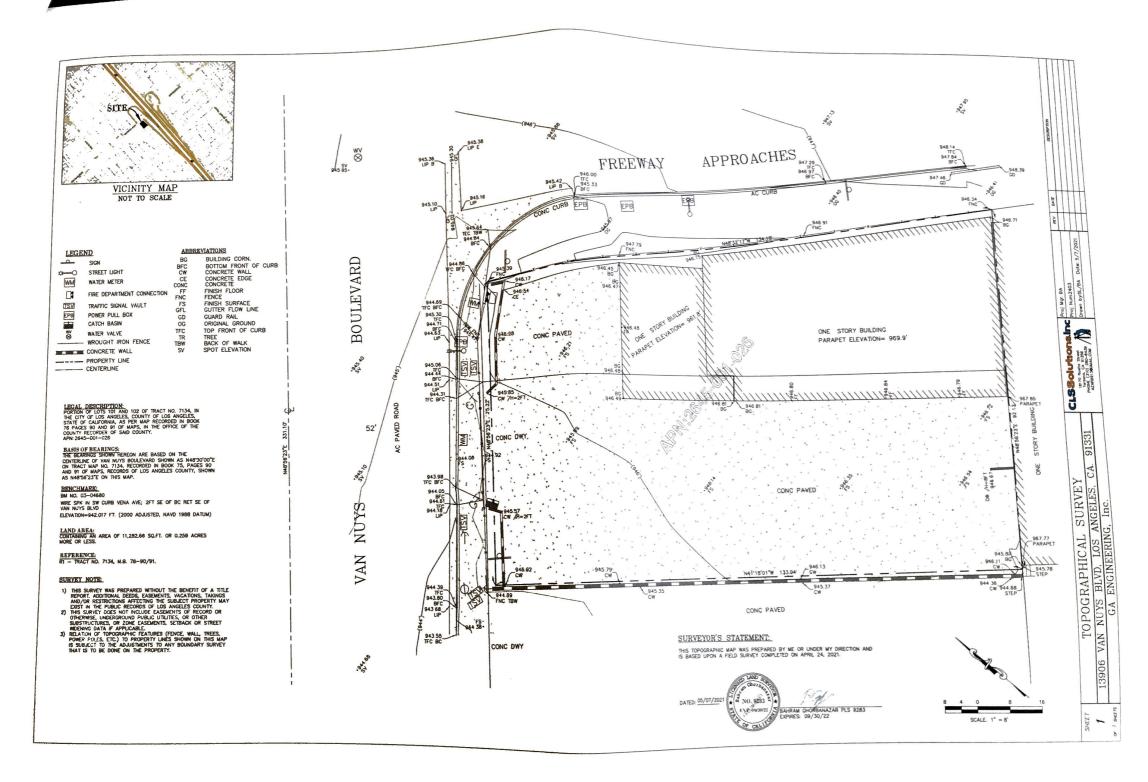
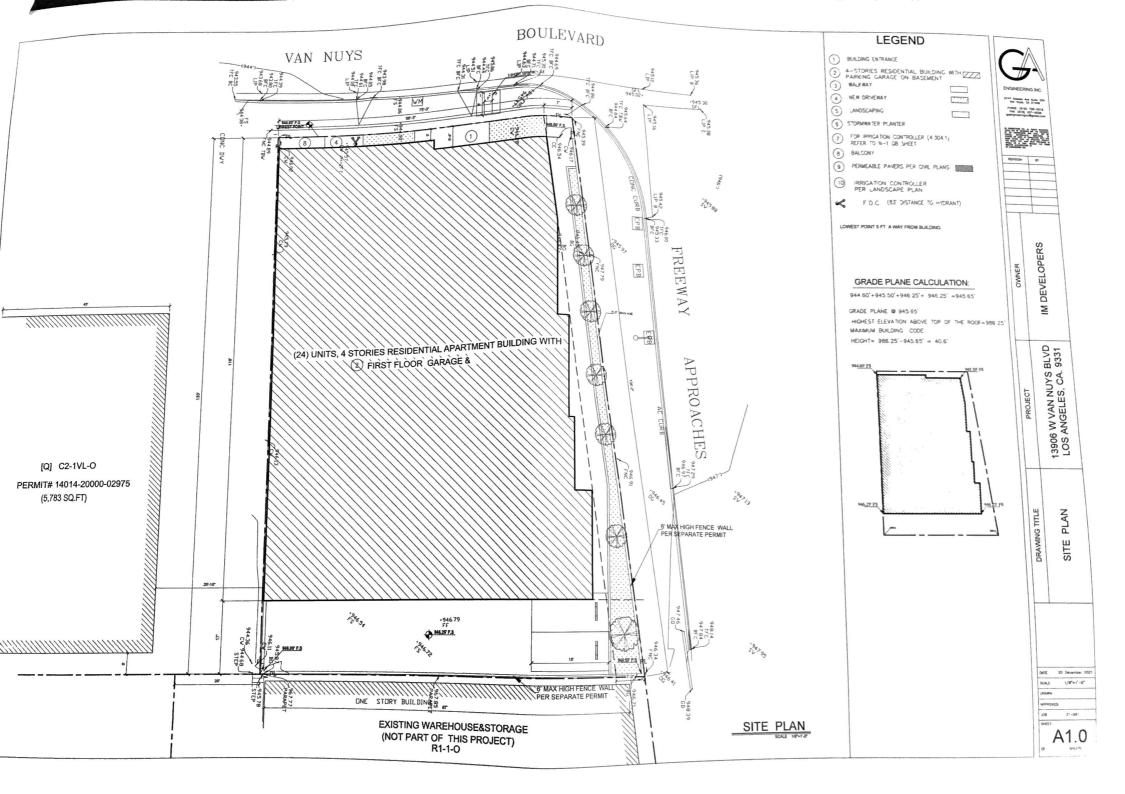
			06 W VAN NUYS BLVD . L	OS ANGELES			
		1390	06 W VAN NOT	PARKING CALCULATION	. 91331		
ADDRESS	INDEX		PROJECT DATA	A CO PER LAMO	TOC DATA	DENSITY CALCULATION	
1,3906 W VAN NUTS BLVD LOS ANGELES, CA 91,331	ARCHITECTURAL	ADDRESS: PROJECT SCOPE:	13906 W VAN NUTS BLVD. LOS ANGELES, (24) UNIT APARTMENT BUILDING 4 STORES RESIDENTIA BUILDING WITH GARAGE PARKING ON FIRST FLOOR. 6 STORES RESIDENTIA BUILDING WITH GARAGE PARKING ON FIRST FLOOR 5 STORES RESIDENTIA BUILDING WITH GARAGE FLOOR FLOOR 6 FLOOR FLOOR FLOOR FLOOR FLOOR FLOOR FLOOR 6 FLOOR FLOOR FLOOR FLOOR FLOOR FLOOR FLOOR 6 OF TRACE IN 190 OF MARS PER MAP RECORDED TO 6 FLOOR	1- BORM 6 15 9 12- RICEN 6 15	R AREA QUALIFIED TER 3	LOT AREA (LOTT.LOTZ.LOT3.LOT4.LOT5) TOTAL LOT AREA = 32.287.2 SQ.FT	ENGINEERING INC
	A'Z EAR CA CULATION	LEGAL DESCRIPTION	OF TRACT NO. 7134, IN THE OFFICE OF THE COUNTY	TOTAL 2 24	IVES REQUESTED	ALLOWABLE UNITS DENSITY =1 UNIT/2000 SQ FT (PER Q CONDITION PERMITTED BY RD2 DENSITY)	E767 Oceans Am Subs 204 Van Huja, CA 97408
PROJECT OWNER	A2 U FIRST FLOR FLAN	LEGAL DESCRIPTION	PAGES 90 AND 91 OF MAPS, "	PARKING PR	ESTED INCENTIVES:	(PER Q CONDITION PERMITTED BY RD2 DENSITY) 32.267 2/2,000 =161 =17 UNITS	PHINE (818) 108-0018 (48 (818) 301-0048
M DEVELOPERS	A2.2 INMO PLOOP PLAN A2.3 FOURTH PLOOR PLAN A2.4 ROOF PLAN A3.0 FLE-AY ON A3.1 FLE-AY ON	ASSESSOR PARCEL NO. (APN) BUILDING CODE:	2019 CBC AS AMENDED BY CITY OF LOS ANGELE	# OF AUTO PARKIN	INCENTIVE NG REDUCTION PER TIER 3	* PER TOC (TIER 3) DENSITY = 17x70% =11 9 = 12 UNITS	The state of the s
		EXISTING ZONE: GENERAL PLAN LAND USE	[Q]C2-IVL-Q HIGHWAY ORIENTED COMMERCIAL		ASE IN NUMBER OF UNIT=70% ASE IN FA.Re. FROM 1.5 .1.10 .3.75/1.IN	ALLOWABLE UNITS PER TOC (TIER3). 17+12 =29 UNIT	
DESIGN BY	D-1 GENERAL STANS	COMMUNITY PLAN AREA		2- BDRM 13 3	ASE N FARM FROM 15 .1 TO 375/1 IN COMMERCIAL ZONE	* REQUESTED UNITS* 24 UNITS	
GA, ENGINEERING LIC# C81484 6747 COESSA AVE SLITE 204 VAN NLYS, CA. 91408 PHONE (818)758-0018	00000 00000 00000000000000000000	AREA PLANNING COMMISSION	ARLETA-PACOMA SOUTH VALLEY 1ST FLOOR TYPE "IA" GARAGE, FULLY SPRINKELERED THROUGHOUT (NFPA-13) 2ND Thru 4TH FLOORS, TYPE V-A , FULLY SPRINKLER THROUGHOUT (NFPA-13) 2ND Thru 4TH FLOORS, TYPE V-A , FULLY SPRINKLER THROUGHOUT (NFPA-13)	PARKING REDUCTION	REQUEST FOR TRANSITIONAL HEIGHT PER TIER 3	ON-SITE PESTRICTED AFFORDABLE UNITS ALLOCATED TO EXTREMELY LOW INCOME (ELI) 10% x 24 = 24 = 3 UNIT	REFERENCE BY
SHOW THE PROPERTY	CA-1 DISA9 L NOTES	TYPE OF CONSTRUCTION:	2ND Thru 4TH FLOORS, TYPE V-A , 1985	REQUIRED PARKING 05 PER UNIT 3)	UP TO A 25% DECREASE IN REQUIRED OPEN SPACE	24 = 3 0/61	1
STRUCTURAL ENGINEER	CA		2ND Thru 4TH FLOORS, TYPE V		THE SPA DECREASE IN REQUIRED OPEN SPACE	E. D	
G.A. ENGINEERING UC# C61464		GROSS LOT AREA:	6,649.5+4,424.7+6,649.6+00+3-0	PROVIDED		1	1
8747 ODESSA AVE SUITE 204 VAN NLYS, CA. 91406	N-1 GREEN BUILDING NOTES N-2 GENERAL NOTES	PROPOSED BUILDING HEIGHT:	45 FEET	STANDARD PARKING NO.	V 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	89.75	
VAN NLYS, CA. 91406 PHONE. (818)758-0018 SURVEY	N-3 FIRE DECAP MENT NOTES N-4 ENERGY NOTE RESTOR SPECIFICATION N-5 TOC VERIFICATION		R-2 / S-2 PARKING FRONT YARD . 0 FEET SIDE YARD . 7-0"	DISABLE PARYOR	V////X///X///	//X///X//	
		BUILDING SETBACKS:	SIDE YARD 7-0" REAR YARD :17'-0" FEET	TOTAL AUTO PARKING POR	V/////X////X///	11 V///X//X	
CLS SULOTIONS INC.		CTODICS.	4 STORY		V/99//////////////////////////////////	tyter / / Springer / X springer /	
18170 ROSITA ST. TARZANA , CA. 91356		STORIES:	AREA SUMMARY (LABC)		1//sh/shuld hat	CZ-XVI_O .cote-pour eging	(C
PHONE (310)280-6439			A-B-C-0	EV PARKING OF PARKINGS 20017 = 34m 1 ACCESSORS	sv / / / / / / / / / / / / / / / / / / /	C2-1VL-O LOTGIBULE BETTE	OWN
GEOTECHNICAL ENGINEER			D C BUILDING ZONING AREA	PARKING TO BE UNBUNCLED FROM THE RENTAL UNITS	CASE NO 20 2004 5794	1//2///	OWNE
3000		STORY OCC. USE	N		V/////X/7/###X#X	8///////////	11 1
			85 SOFT SOFT SOFT SOFT	OPEN SPACE CALCULATION	- Y /-/-/-/-/-X	X//X///////////	
		FIRST S-2 PARKING	1-A 7,030 800 7,650	NO. OF	FERMO# 14814-20000-0227	\$//X////\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	11 1
LANDSCAPING	LANDSCAPE	SECOND R-2 RESIDEN	TAL V-A 8.320 250 430 8,070 7,850	BEDROOMS HABITABLE OUNTETY OF SPACE	F5783.80.F381	X//X////L	11 1
Duntara		THIRD R-2 RESIDEN	TIAL V-A 8,320 290 420 8,070 7,850	1 2 6 6 X 100 =600	BUILDING TO REMAIN	Lot sybucheste	11-1
		FOURTH R-2 RESIDEN		2 6 6 X 125 =750	- F 60' - S0' - 177	50 \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	1 6
			1,360	3 12 12 x 125 =1,500	- LOT 105= 7,893.7 SQ.FT		11 13
		TOTAL S-2	25,000 23,800	REQUIRED 2.850 SQ.FT	LOT 104= 6,649.6 SQ.FT	1 8000000000	
ELECTRICAL ENGINEER		ALLOWABLE R-2		UP TO 25% DECREASE IN REQUIRED OPEN SPACE PER TIER 3	700 6 500 600 60000	3 (30,000 a) 10,000 (10,000 a)	11.1
				KEQUIRED= 2,850 SQ.FT x 25%= - 712.5 SQ.FT	[Q] C2-1VL-O LOT 103= 6,649.6 SQ.FT		JECT
			SCHOOL DISTRICT ASSESSABLE	712.5 SQ.FT.	LOT 102= 6.649.6 SQ.FT		PROJEC
				TOTAL REQUIRED 2,137 5 SQ.FT	LOT 101= 4,424.7 SQ.FT	i	1 8
IECHANICAL & PLUMBING ENGINEE	STRUCTURAL		STORY USE AREA (SQ.FT.)		TOTAL = 32,267.2 SQ.FT	±	1 11 1
ICOMPRIONE & PLUMBING ENGINEE		7	FIRST RECALORBY 850	PROVIDED	107.00	84 84 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	1 11 1
			SECOND DWELLING UNITS 8,320	AREA DESCRIPTION OPEN SPACE	LOT 106= 5,759.7 SQ.FT	! 32233333	PROJE
			THIRD DWELLING UNITS 6,320	RECREATION ROOM 600 SQ.FT	R-1-1-0 LOT 107= 6,852.8 SQ.FT		- 11
			FOURTH DWELLING UNITS 8,320	BALCONY (24X50) 735 SQ FT	LOT 108= 5,791.29Q.FT		1 1
			TOTAL 23,610	TOTAL PROVIDED 2,535 SQ.FT.	TOTAL = 18,403,7 SQ.FT	LOT "NR"	, 11
					101 53.141 0	\$1 1	; 11
			AREA PER UNIT		[Q] C2-1VL-O BUILDABLE AREA FOR (C2-1VL-O) = 32,267.2 SQFT	131.21	
	CIVIL		AREA FER UNIT		- FAR TOC TIER 3 = 3.75		
	CIVIL		AREA CINETY AREA	NOTES	ALLOWABLE FLOOR AREA= 3.75X 32.267 = 121,002		118
		UNIT DESCRIPTION	AREA UNIT DESCRIPTION AREA UNIT DESCRIPTION VSO. FT	T.) 1. OBTAIN SEPARATE PERMIT FOR THE FOLLOWING ITEMS		000 00 FT - 404 000 00 FT	
		No	(SQ.FT.) No (SQ.FT.) 980 301 2-BED/2-BATH 980 401 2-BED/2-BATH 980	RETAINING WALLS, GRADING WORK, BLOCK FENCE, FIPE SPRINKLER SYSTEM, ELECTRICAL, MECHANICAL, PLUMBING EMERGENCY RESPONDI RADIO COVERAGE IN ACCOMPANCE WORK 59-9-9-6, AND DEMOLTIC FIRE ALARM SYSTEM WITH LASE CORE 13-24 SCAR	PROVIDED FLOOR AREA= 23,800+ 5,783+7,500= 37,	003 SULF < 121,002 SULF	11
		2-BED/2-BATH 202 1-BED/1-BATH	775 302 1-BED/1-BATH 775 402 1-BED/1-BATH 775	RADIO COVERAGE IN ACCOMPANICAL PLUMBING EMERCENCY RESPONDED FIRE ALARM SYSTEM WITH LAFC DBC 915 4 2/4 SOLAR VOLTAGE	ER ON		11
		202 1-BED/1-BATH	775 303 1-BED/1-BATH 775 403 1-BED/1-BATH 775	2. THIS BUILDING SHALL BE PROMOCO MADE & MARCHAN	1		11
		204 2-BED/2-BATH	1,050 304 2-BED/2-BATH 1,050 404 2-BED/2-BATH 1,050	STSTEM WITH THE CAPABILITY TO SUPPORT VISIR F ALARM			
	ELECTRICAL	205 2-BED/2-BATH	1,150 305 2-BED/2-BATH 1,150 100 1000 DEN (1-BATH 820	(907.2.9, 907 5.2.3.3, 907 5.2.3.4)			
		208 1BED,DEN/1-BATH 207 1BED.DEN/1-BATH	820 306 (8ED,DEN/1-BATH 820 407 (18ED,DEN/1-BATH 820	3 THIS PROJECT IS 100% PRIVATELY FLINDED. THIS IS NOT HOUSE	SING	21 10765	
		208 2-BED/1-BA'-	920 308 2-BED/2-BATH 920 408 2-BED/1-BATH 920		™ DID 3 (COMITVI	1
				4. NO GUEST PARKING PROVIDED OR REQUIRED	JJK 4 \	J L 1 1 3 1 0 3	1
		SECOND FLOOR = 8	UNITS THIRD FLOOR = 8 UNITS THIRD FLOOR = 8 UNITS	5. FIRE ALARM TO BE PROVIDED PER CFC 907.2.1 THROUGH 907.2	2.23		1
		SECOND FLOOR # 8	Auto 1804 - 5 Auto	6. EMERGENCY RESPONDER RADIO COVERAGE PER CFC 510.	TANI _ 2	021 10766	
				7 FIRE SPRINKLER NOTE:	FINV - Z	071 10100	
	MECHANICAL			THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMO- FIRE EXTINGUISHING SYSTEM, COMPLYING WITH (NFPA-13). TH			
		APPLICABLE CODES:		FIRE EXTINGUISHING SYSTEM, COMPLYING WITH (NFPA-13). THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV PRIO INSTALLATION.	9R 10		
		2019 CALIFORNIA RESIDENT	CODE (CBC) WITH CITY OF L.A. AMENDMENTS 2020 TAL CODE (CRC) WITH CITY OF L.A. AMENDMENTS	B. PROVIDE TWO-WAY COMMUNICATION AT THE LANDING SERVIN	g		
		2019 CALIFORNIA FIRE COL	E (CFC) WITH CITY OF L.A. AMENDMENTS UILDING CODE (CGBSC) WITH CITY OF L.A. AMENDMENTS	EACH ELEVATOR OR BANK OF ELEVATORS ABOVE OR BELOW	THE		
		2019 CALIFORNIA HISTORIC	AL BUILDING CODE (CHBS) WITH CITY OF L.A. AMENDMENTS	LEVEL OF EXIT DISCHARGE (CBC 10096.8)			
		2019 CALIFORNIA ENERGY 2019 CALIFORNIA ELEVATO	CODE (CEESC) WITH CITY OF LA AMENDMENTS R SAFETY CODE WITH CITY OF LA AMENDMENTS				
		28 CFR PART 38 (ADA)	CE STANDARDS CODE WITH CITY OF LA. AMENDMENTS				
		TITLE B CALIFORNIA STATE	CODE FOR ELEVATORS				
				1			
				1			







REQUIRED: DISTANCE 10<X>30

PROVIDED BEFER TO DIAGRAMS ON T1.01)

SHATTS ENCLOSURES: (CER 7.11.4)

THE SHATE ON ONE CTIVE A STORES: (OTHER SHATTS)

THE SHATE ON ONE CTIVE A STORES: (OTHER SHATTS)

THE SHATE ONE CONSTRUCTION AT ACCESS ROOM AND PROTECTED BY 3M HOUR SELF-CLOSING DOOR SHATT SHALL BE SPRINKLERED PER (CBC 903.2.11.2)

THE SHATE ONE SHATE SHALL BE SPRINKLERED PER (CBC 903.2.11.2)

DWELLING UNIT SEPARATION
CBC 419
1 HR FIRE PARTITIONS ARE REQUIRED BETWEEN DWELLING UNITS (R-2) WI STC 50
1 HR FIRE PARTITIONS TO SEPERATE DWELLING UNIT AND CORRIDOR WI STC 50

RECURRED: 1 HR FIRE BARRIER WITH 45 MIN. DOOR PROVIDE. 1 HR FIRE BARRIER WITH 45 MIN. DOOR

COMMON PATH OF EGRESS TRAVEL
CBC TABLE 1014 3 = 125 FT MAX IN SPRINKLERED BUILDING
LENGTH OF TRAVEL DISTANCE ACTUAL = 65-0" < 125 FT (LONGEST DISTANCE NOTED)

MINIMUM CORRIDOR WIDTH
CBC TABLE 1020.2 = 44 INCHES AND 36 INCHES WITHIN DWELLING UNITS
ACTUAL = 60 INCHES AND 36 INCHES MIN. WITHIN DWELLING UNITS

DEAD END CORRIDOR
CBC 1020.4 EXCEPTION 2 = 50 FT MAX IN SPRINKLERED BUILDING
LENGTH OF DEAD END CORRIDOR ACTUAL = 0" < 50 FT

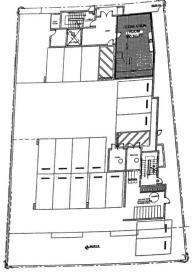
EGRESS WINDOWS (RESIDENTIAL): CBC 1029.2.1
MINIMUM HEIGHT 24 INCHES
MINIMUM WIDTH 20 INCHES.
MINIMUM SIZE 5.7 SQ.FT. MAXIMUM SILL HT. 44 INCHES ABOVE THE FLOOR.
REFER TO WINDOW SCHEDULE. SHEET AS, 0. FOR PROPOSED EGRESS WINDOW SIZES.

NATURAL VENTILATION: HABITABLE SPACES AND BATHROOMS REQUIRED: 4% OF FLOOR AREA

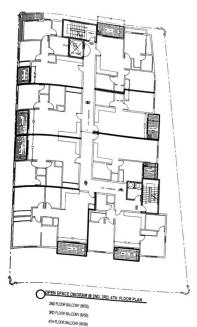
BATHROOMS VENTILATION PROVIDED BY MECHANICAL VENTILATION WITH A MINIMUM CAPACITY OF 50 CFM.

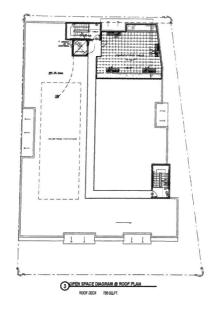
NATURAL LIGHT: HABITABLE SPACES AND BATHROOMS 8% OF FLOOR AREA (REFER TO ENLARGED UNIT PLANS) REQUIRED:

OPEN SPACE DIAGRAM

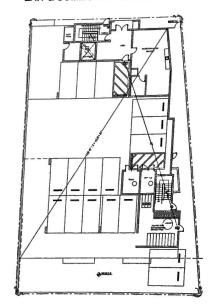


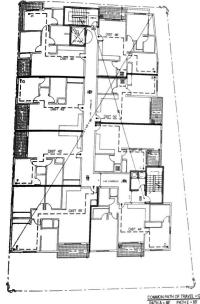
OPEN SPACE DIAGRAM @ 1ST FLOOR PLAN RECREATION ROOM =600 SQ.FT





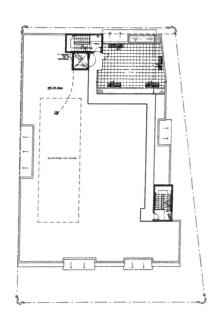
EXIT & COMMON OATH DIAGRAM

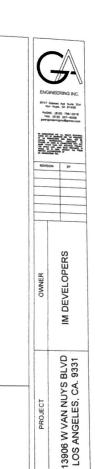




COMMON PATH OF TRAVEL 135

2nd FLOOR EXIT DIAGONAL SCOMMON PATH DIAGRAM
AND STATE OF MAINTS AND PATH STATE OF MAINTS AND PATH 145

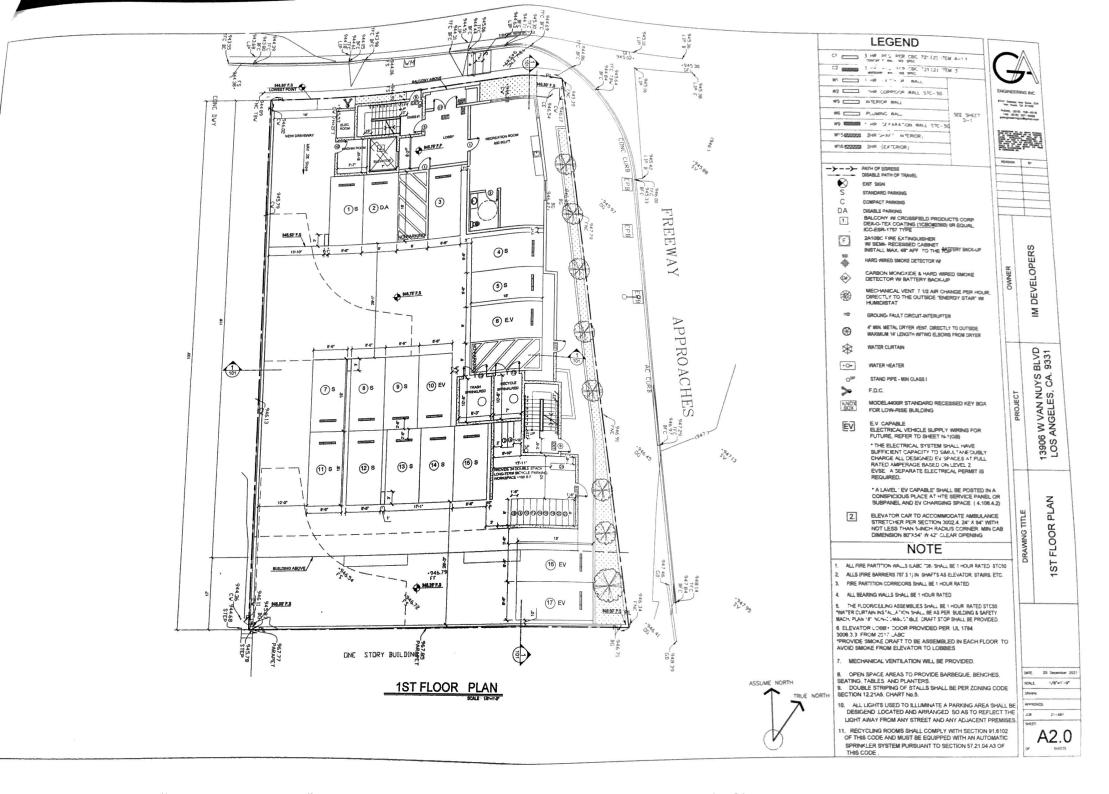




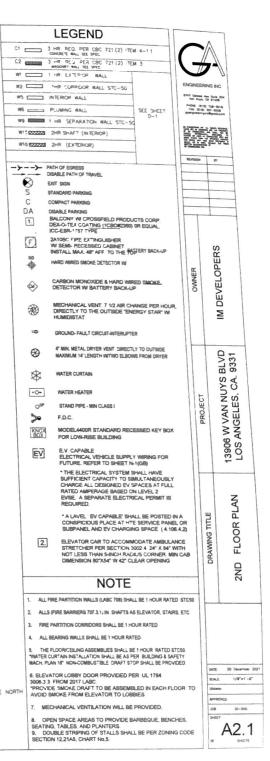
OPEN SPACE F & COMMON OATH DIAGRAM DRAWING TITLE EXIT

SCALE: 1/16"+1"-0" 20-950

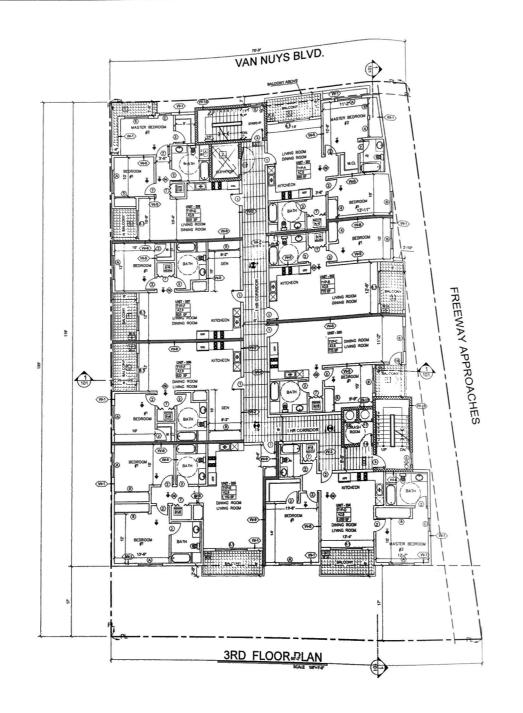
A1.1

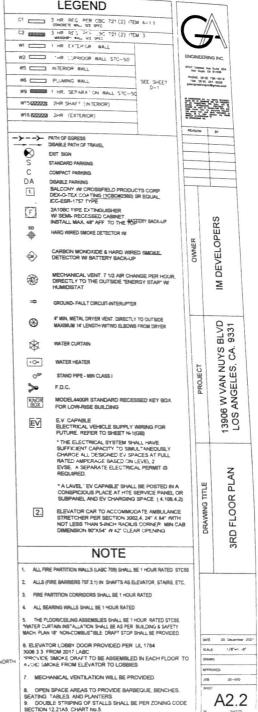




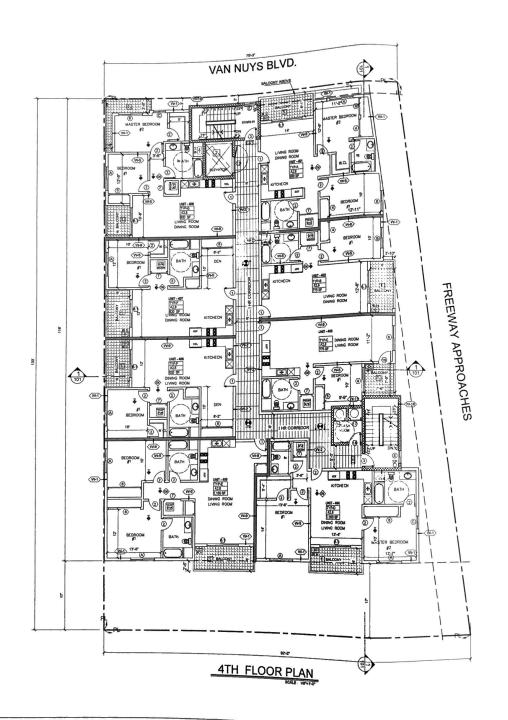


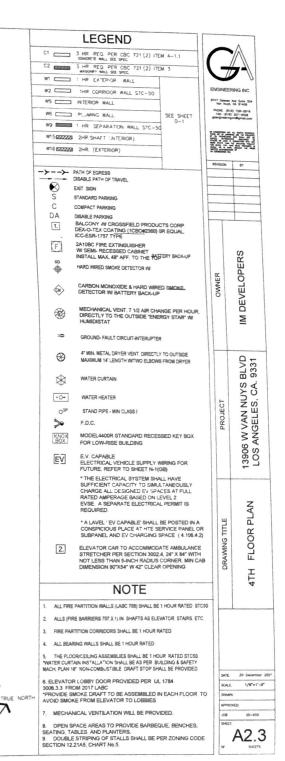
ASSUME NORTH



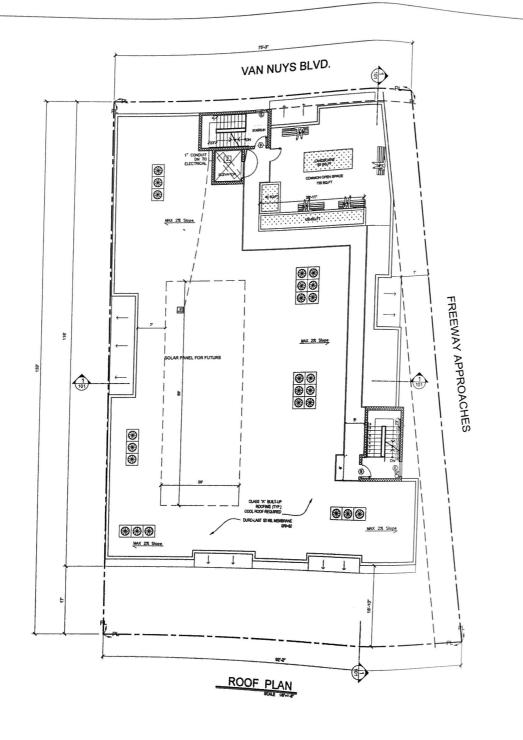








ASSUME NORTH



LEGEND



 \blacksquare

AC UNIT

SOLAR ZONE

15% OF ROOF AREA DESIGNATED FOR FUTURE SOLAR PANEL ROOF AREA = 7,220 SQ FT. X 15% = 1,083 SQ.FT. UNDER SEPARATE PERMIT LUNDER SEPARATE PERMIT

UNUAL SEPARATE TERMIN
REPRESENT AREA MEXIT TO SOLAR PANEL SHALL BE FREE
OF OBSTRUCTION AND TO BE SETBACK AT LEAST TWO
TIMES THE "HEIGHT OF ANY OBSTRUCTION, INCLUMNE BUT
NOT LIMITED TO VENTS, CHAME'S, AND EQUIPMENT.

MAIN SERVICE ELECTRICAL PANEL SHALL HAVE A MINIBUSHAR RATING OF 200 AMPS THE MAIN ELECTRICAL
SERVICE PANEL SHALL HAVE A RESERVED SPACE TO
ALLOW FOR OF A DOUBLE POLE OFFOUT BREAKER FOR A
FUTURE SCALAR ELECTRIC TALLATION THE RESERVED
SPACE SHALL BE POST CASE OF THE OPPOSITE (CAD)
END THOM THE PRUTY FEED TOCATION OR MAIN CRICIT
END THOM THE SHUTH FEED TOCATION OR MAIN CRICIT
FOR FUTURE SOLAR ELECTRICATED.

- 2% SLOPE TO DRAIN U.N.O.

NOTE: ALL DIMESIONS ARE TO FOS UNO.

- ROOFING TO BE FLINTLASTIC GTA—PR WHITE WITH FLINTCOAT ELASTOMETRIC WHITE REFLECTED COATING ICC#—ESR—1660 (SEE SHEET AA.1) CLASS—A
- 2. CONDENSER UNITS PER MECHANICAL BRAMINGS DAMPPROOFING: TREMCO PARASEAL LG (LARR 24709) NOTE: ALL DOWNSPOUTS MUST DRAIN TO STORMWATER PLANTERS PER LID PLANS.

ALL ROOF RUNOFF TO DRAIN TO INFILTRATION DRYWELL PER CIVIL PLANS DURO-LAST. MEDIUT DATA SHEET

DURO-LAST® 50-MIL MEMBRANE

147 CONTRACT DAMA STREET,

Distance Controls	-	AND THE PERSONNEL	- Amount	Special Section 14
Description of the last of the	45.76.078	1000-0	-	
Transport from States		1794	-	
	spirit on several	775	man	m
The state of the s	ADDRESS THE OWNER.	-	***	10% × 60
term brough	ACTION TO THE PERSON	(FT-4 bears) brough.	reds	40.00
The Strength	spiletitis Assessed		746	921 980
The party agency	emilional .	900 mm 4 47 1	Person	Prote
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State Contract	475.000	0.00	7900	60.66
Special Parents	salitie total	1 10 7 had all a	award .	. W/ Sat (8)

ASSUME NORTH

TRUE NORTH

\$ **\$ \$ \$ \$ \$ \$ \$ \$**

and the second s



ENGINEERING INC EP47 Dresse Avy Suite 204 ten Noys, On 91408

P-ONE. (818) 758-0015 FAR: (818) 357-6558 pompineringno@pmpl.com

DEVELOPERS

Σ

BLVD 9331

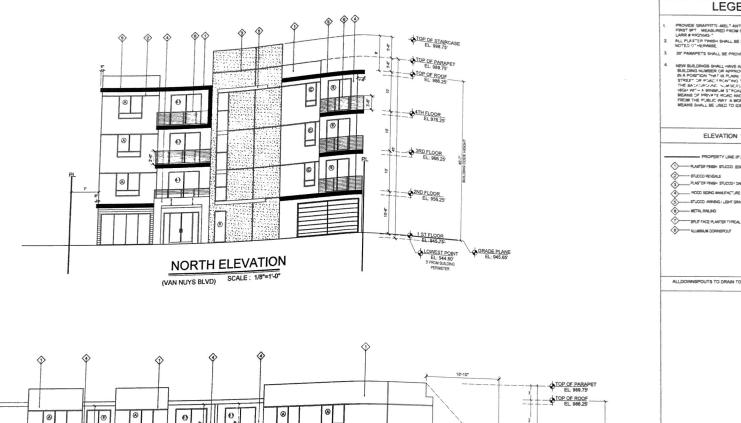
13906 W VAN NUYS LOS ANGELES, CA.

PLAN

ROOF

SATE. 20 December 202 90A.E

A2.4



0

0

SCALE : 1/8"=1'-0"

0

0

WEST ELEVATION

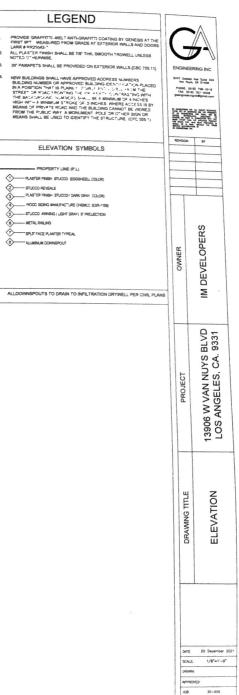
4TH FLOOR EL 976.25

3RD FLOOR EL 966.25

> 2ND FLOOR EL: 956.25

> > LOWEST POINT EL. 944.80° S FROM BALDING PERMETER

GRADE PLANE EL 945.65°







FLOOR	DOOR 3'W X 8'H	OPENING 6'W X 2'H	OPENING 11'-6"W X 8'H	OPENING 7'-9"W X 8'H	DOOR 6'W X B'H	3,M X 9,H MNDOM©	MNDOW ®	TOTAL PROVIDED OPENING	WALL	ALLOWABLE
	24 SQ.FT.	12 SQ.FT.	92 SQ.FT	62 SQ.FT.	48 SQ.FT.	18 SQ.FT.	30 SQ.FT.	SQ.FT.	SQ.FT.	25%, SQ.FT.
1	24X2=48	12X2=24	-	-	48X1=48	-	30x1=30	150	1183	295
2	-	7-1	92X1=92	62X1=62	48X1=48	18X1=18	30×2=60	280	1129	
3	-	-	92x1=92	52x1=82	48X1=48	18X1-18	30X2=60	280		282
4	-	-	92X1=92	62X1=62	48X1≈48	18X1=18	30X2=60	280	1129	282
	FACT F	F14. F10		02A1-02	10111110		30KE-00	200	1129	282

EAST ELEVATION

FIRE SEPARATION DISTANCE = 7 FEET
ALLOWABLE PROTECTED OPENING= 25%
ALLOWABLE UN-PROTECTED OPENING=25%
PER SECTION 705.8,

LEGEND

PROPERTY LINE (P.L.)

NOTES

1. RESTUCCO OVER PAPER BACK WIRE MESH
PROVICE 2-AFERS OF GRADE 10 1 PAPER OVER
PL WO
2. RECEASED ALL DOORS AND ANNOWS NO LESS
THANKY

THAN Y
 EXTERIOR LIGHTING TO BE SHELDED
 MINDOWS AND BALCONY DOORS TO BE VINYL.
MATERIAL GRAY COLOR.

* ALL DOWNSPOUTS MUST DIRECT TO STORMMATER PLANTERS PER CIVIL PLANS.

ELEVATION SYMBOLS

PROPERTY LINE IP LI

TASTER FINEN STUCCO ESCONESIL COLOR)

2 STUCCO REVEAU

PLASTER FROM STUCCOL DARK SHAR COLOR MODE STORE WALFACTURE DIRECT STRATEGY

---- STUCCO AMMERICADH GRAY) & PROJECTION

6 WETAL RALAG

GPLIT FACE PLANTER TYPICAL

ENGINEERING INC.

EPOT Column for Sale 304 San Augs, CA 21408 February (\$16) 758-0018 FAR (\$16) 307-6008 preriorations/state



		EPS/SN 89
	E	
	F	
	F	
	OWNER	IM DEVELOPERS
	PROJECT	13906 W VAN NUYS BLVD LOS ANGELES, CA. 9331
	DRAWING TITLE	ELEVATION
DATE SEAL STORM	JI V	Describe 2021 /E'=1-4'





ENGINEERING INC. 6147 Owner Av Sula 204 Von Note Co. 214-001 Print: (814) 754-0018 (Av) (814) 827-0038 geogramings/@proj.com

Design	BY

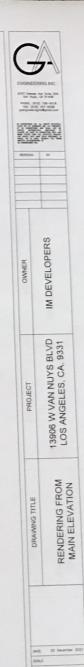
IM DEVELOPERS

13906 W VAN NUYS BLVD LOS ANGELES, CA. 9331

RENDERING FROM MAIN ELEVATION

DRAWING TITLE







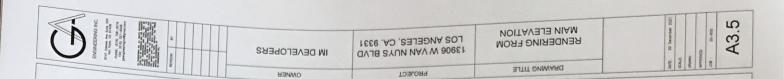


STAT Steme Am Sufe 254 Year Name, Ox STATS PACKE (STIE) 728—5514 (AK STIE) 327—5524 packetspackspackspackspack

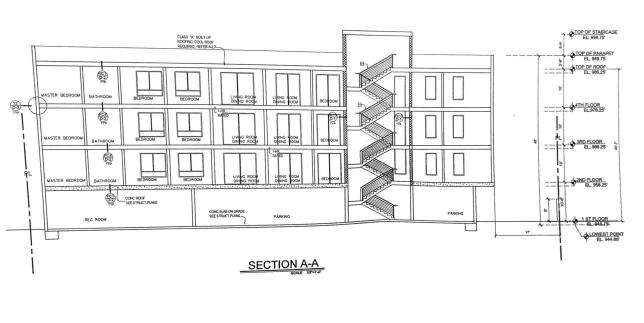
IM DEVELOPERS 13906 W VAN NUYS BLVD LOS ANGELES, CA. 9331

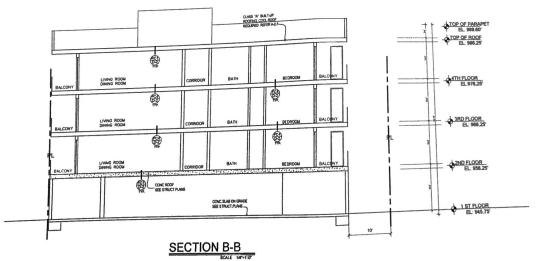
RENDERING FROM MAIN ELEVATION DRAWING TITLE

DATE: 25 December 2021
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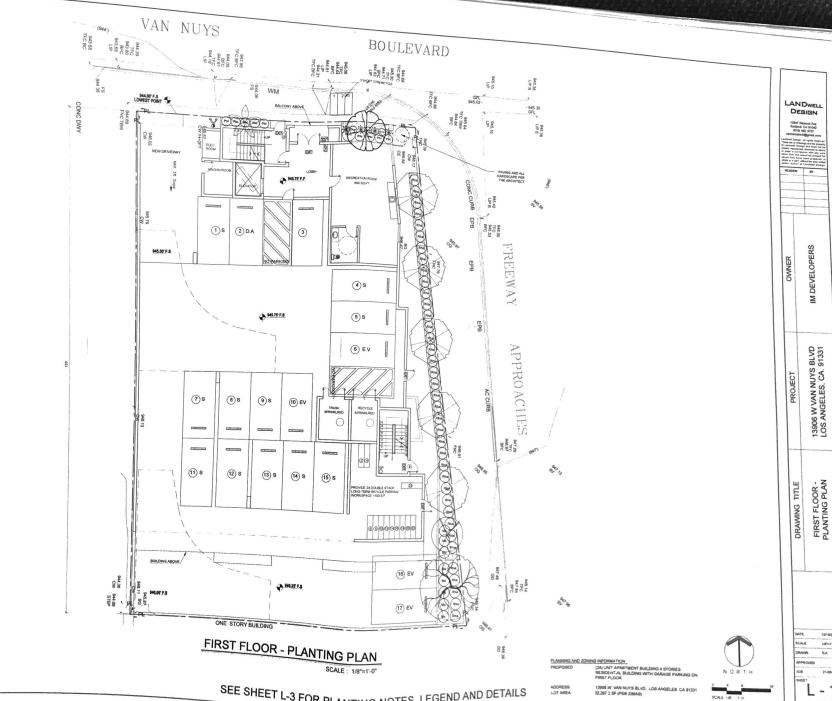




8747 Otesse Ave Suite 204 Yor Nays, CA 91406 PHONE (818) 758-0018 FAX (818) 357-8508 IM DEVELOPERS 13906 W VAN NUYS BLVD LOS ANGELES, CA. 9331 DRAWING TITLE SECTION DATE: 20 General 2021
SCALE: 1/8"-1"-0"
DRAIN:
APPROVED.
.00 20-150
SMET

A4.0

LEGEND



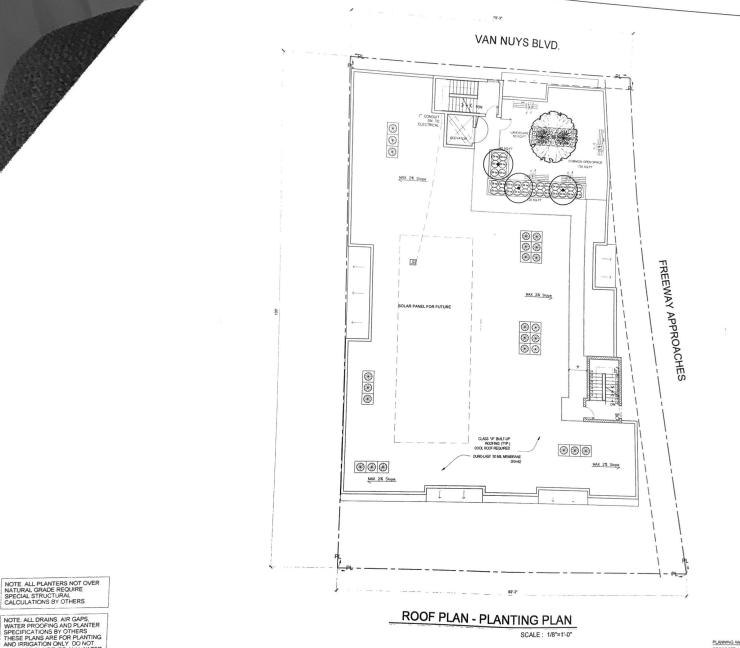
NOTE: ALL PLANTERS NOT OVER NATURAL GRADE REQUIRE SPECIAL STRUCTURAL CALCULATIONS BY OTHERS

NOTE: ALL DRAINS, AIR GAPS, WATER PROOFING AND PLANTER SPECIFICATIONS BY OTHERS THESE PLANS ARE FOR PLANTING AND IRRIGATION ONLY. DO NOT ALTER OR PUNCTURE ANY WATER PROOFING

SEE SHEET L-3 FOR PLANTING NOTES, LEGEND AND DETAILS

1 OF 11

12/16/2021



DEVELOPERS ₹ 13906 W VAN NUYS BLVD LOS ANGELES, CA. 91331 ROOF PLAN -PLANTING PLAN DRAWING TITLE 101-1-07

2 OF 11

LANDWELL DESIGN

NOTE: ALL DRAINS, AIR GAPS, WATER PROOFING AND PLANTER SPECIFICATIONS BY OTHERS THESE PLANS ARE FOR PLANTING AND IRRIGATION ONLY DO NOT ALTER OR PUNCTURE ANY WATER PROOFING

SEE SHEET L-3 FOR PLANTING NOTES, LEGEND AND DETAILS

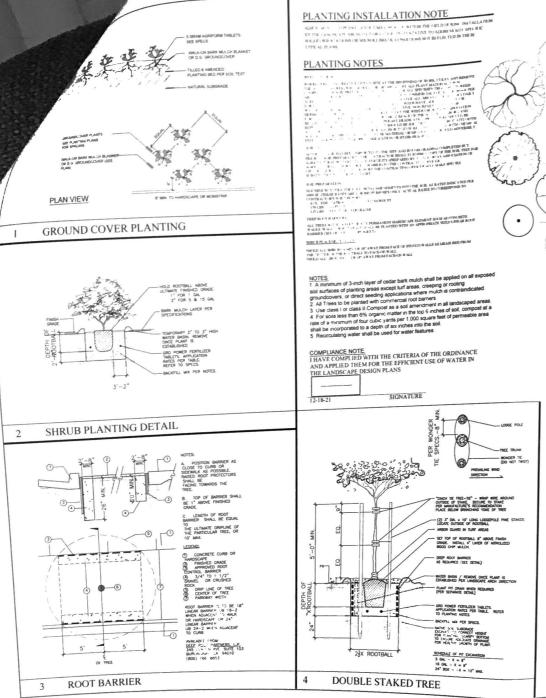
PLANNING AND ZONING INFORMATION

1241 UNIT APARTMENT BUILDING 4 STORIES RESIDENTIAL BUILDING WITH GARAGE PARKING ON FIRST FLOOR

ADDRESS LOT AREA

13666 W VAN NUYS BLVD LOS ANGELES, CA 91331 32,267 Z SF (PER ZIMAS)

SCALE 187 - 1/2"



		PLAI	NT LEGEND								
	1	SYM	BOTANICAL NAME					MUCCULE	RIZE AT		
5	/		TREES	COMMON NAME	gtv	9/2	Œ	PF	MATURITY	YEARS	REMARKS
1 1 1 1	· ~	ألم	Lagerstroema indica x faure Muskogee	Musikogee Crape Myrtie	5	24	"Вож	м	28 415	ь	
- 7	1-		Geyera parviflora	Australian Willow	1	361	Вах	,Li	16:48	15	
}	d		Washingtonia hybrida	Hybrid Fan Palm	1	20	втн	U	90'x15	35	
-	7	7	Olea europaea 'Monner'	Majestic Beauty Frudess Olive	1	367	Вох	,MI	301-25	16	
	X)	Cerois occidentalis	Eastern Redbud	1	361	"Вак	L	20x15	10	
	1	/	Rhapiolepis x 'Montic'	Mayestic Beauty Indian Hawthorn	3	24"	"Вах	м	25'x10'	10	Std. Maintain at Tree
	V		Tristania conferta	Brisbane Box	1.	24	Вах	М	501/25	10	
		PLAN	T LEGEND						S SIZE AT		DE DEMARKS
		SYM	BOTANICAL NAME	COMMON NAME		QTY	SIZE	PF	MATURE	TY YEA	RS REMARKS
			SHRUBS								
		8	Aeonium 'Sunburst'	Copper Pinwheel		2	5gal	L	2x2	2	
		-6-	Asparagus densiflorus 'Myers'	Foxtail Fem		4	5gal	м	212	2	
			Dianella tasmanica 'Silver Streak'	Variegated Flax Lily		33	5gal	M	312	3	
			Echeveria 'Afterglow'	Echeveria		2	5gat	L	31/2	3	
			Festuca glauca 'Elijah Blue'	Elijah Blue Fescue		22	1gal	L	TXT		
			Moraea bicolor	Fortright Lily		8	5gai	L	21/2	1	
		\simeq	Philodendron x 'Xanadu'	Xanadu Philodendron		9	15gal	м	453	3	
		_	Podocarpus elongatus 'Monmai'	Icee-Blue Yellow-Wood		1	15gal	M.	20'x10'	10	12' High Screening Hel
			Rhapiolepis indica 'Clara'	Indian Hawthorn		38	5gal	м	3.83	-	
			UNDCOVER Carex oshimensis 'Everglow PPAP'	EverColor Everglow Sedge		16	1gai@ 12"e c	L	18"X18"	1	
										_	
		_	DSCAPE CALCULATION	PROVIDED		SP	ECHICATI	CARE FOR			
		RE(OUTRED ECT SITE 32,267 2 SQ FT	24° Box trees 9x	1=9	Ah	ID IRRIGAT	TION ONLY	DO NOT ANY WATER		
		PROJ	ECLINIF 37'20'7 26'1	36" Box trees 3x Use of Class I or Class II compost as a soil amendment in all landscaped areas	3 3	PR	IOOFING.		ADMC AND	-1	
					21	Pt.	ANTER SP	ECE DI AN	ONS BY S ARE FOR TION ONLY	1	
		POIN	TS REQUIRED 20	TOTAL POINTS							

LAN	DWELL SIGN Disposal data 1 (A 1940) Office of the control of th
OWNER	IM DEVELOPERS
PROJECT	13906 W VAN NUYS BLVD LOS ANGELES, CA. 91331
DRAWING TITLE	PLANTING NOTES, LEGENDS AND DETAILS
STAG UAGE VARIE APPR STAG STAG	1 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0

AS DESIGNED, WHEN IT IS OBVIOUS THAT SEM AS DESIGNED, WHEN IT IS OBVIOUS THAT
SEM STATEMERE NOT KNOWN DURING
SESSIT HAT WERE NOT KNOWN DURING
SESSIT HAT WERE NOT THOUGHT SO THE OWNER'S
SESSIT HAT WERE NOT THE ATTENTION OF THE OWNER'S
SESSIT HE IRRIGATION CONTRACTOR MUST ASSUME NONS NECESSARY

TO BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.

ASSESSED TO BE RESIDENCE TO SEE THE RESIDENCE OF T THE IRRIGATION OF THE PROVIDED BY OTHERS.

THE CONTROLLER TO AUTOMATIC VALVES TO BE COPPER, DIRECT BURIAL MEAN THE MET AND AN AMERICAN A MAINLINE PIPING WHERE POSSIBLE MIN WHERE POSSIBLE MIN WHEN THE MET OR WHITE IN COLOR CONTROLLER USED. BUNDLE AND TAPE TO BE WHEN THE MET OLD WHEN THE WHEN THE MET OLD WHEN THE WHEN THER MIN 20" ON CENTER.

IN INCOME SOLD SOLD REPRESENTATIVE, IN THE FIELD.

ASTALL ALL EQUIPMENT (VALVES, GATE VALVES, BOXES ETC.) IN PLANTING AREAS ONLY, NOT

OUDE MIN. 18" COVERAGE OVER ALL PRESSURE LINES, AND MIN. OF 12" COVERAGE OVER ON-PRESSURE LINES. ALL PIPING UNDER PAVING TO BE MIN. SCHEDULE 40 P.V.C. AND TO MIN. 24" COVER OVER PIPING.

NATION CONTRACTOR TO FLUSH ALL LINES AND ADJUST ALL SPRINKLERS FOR MAXIMUM AND TO PREVENT OVERSPRAY ONTO WALKS, DRIVES, BUILDING, ETC. THIS VICLUSE SELECTING THE BEST DEGREE OF ARC TO FIT ACTUAL SITE CONDITIONS.

RUBBERY SPRINKLERS ADJACENT TO PARKING LOT OR ALONG WALKS OR ROADS SHALL

PERLINE WILL BE INSTALLED MAXIMUM 6" FROM HARDSURFACE AND WILL BE AT MAXIMUM 12" ON CENTER FOR ENTIRE PLANTED AREA WHERE SHOWN. ALL MILL BE CONNECTED TO EITHER P.V.C. HEADER OR TO OTHER TUBING. THERE WILL WILL BE CONNECTED TO EITHER P.V.C. HEADER OR TO OTHER TOGING. THERE EAD ENDS." TOP OF DRIPPERLINE WILL BE AT SAME LEVEL AS FINISH GRADE.

ATION CONTRACTOR WILL INSTALL SWING CHECK VALVES OR SPRING LOADED ALVES AS REQUIRED TO ELIMINATE EXCESSIVE DRAINAGE FROM LOW ERS. THIS WILL BE IN ADDITION TO ANY CHECK VALVES SHOWN ON PLAN.

V.C. MAINLINE FITTING TO BE "LONG SOCKET" TYPE AS MANUFACTURED BY

COMPLETION, IRRIGATION CONTRACTOR TO SUPPLY TO OWNER, A COMPLETE EPRODUCIBLE "AS-BUILT" DRAWINGS, DRAWING WILL SHOW LOCATION OF ALL SCROSSINGS, QUICK COUPLING VALVES, ETC. EACH CONTROLLER TO HAVE ITS ITROLLER CHART. CHART WILL CLEARLY SHOW EACH AREA SPRINKLED IN A IT COLOR. AND WILL BE LAMINATED BETWEEN 2 LAYERS OF 10MIL CLEAR

- 14. THE IRRIGATION SYSTEM SHALL BE FULLY GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER ANY DEFECTIVE MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED BY IRRIGATION CONTRACTOR AT NO
- COST TO OWNER.

 15 AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE
- OF CUMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE 4.

 16. UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1.000 SQUARE FEET
 OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- 16. UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A NATE OF COMPOST AND NONPOTABLE WATER SYSTEMS ARE INSTALLED, EACH SYSTEM SHALL BE CLEARLY IDENTIFIED IN ACCORDANCE WITH SECTION 601 21 THROUGH STORM 601 21 THROUGH
- SOL 2.1 POTABLE WATER GREEN BACKGROUND WITH WHITE LETTERING

 601.2.1 POTABLE WATER GREEN BACKGROUND WITH WHITE LETTERING

 601.2.2 COLOR AND INFORMATION. EACH SYSTEM SHALL BE IDENTIFIED WITH A COLORED PIPE OR BAND AND CODED WITH PAINTS.

 WAS ADD. AND MATERIALS COMPATIRE WITH THE PIPING.
- WRAPS, AND MATERIALS COMPATIBLE WITH THE PIPING.

 601 2.2.1 ALTERNATE WATER SOURCES, ALTERNATE WATER SOURCE SYSTEMS SHALL HAVE A PURPLE (PANTONE COLOR NO STAND SHALL BE FIELD OR FACTORY MARKED AS FOLLOWS OR EQUIVALENT) BACKGROUND WITH UPPERCASE LETTERING AND SHALL BE FIELD OR FACTORY MARKED AS FOLLOWS.
- 1) GRAY WATER SYSTEMS SHALL BE MARKED IN ACCORDANCE WITH THIS SECTION WITH THE WORDS "CAUTION: NONPOTABLE GRAY WATER, DO NOT DRINK" IN YELLOW LETTERS (PANTONE 108 OR QUIVALENT). WATER, DO NOT DRINK" IN YELLOW LETTERS (PANTONE 108 ON ACCORDANCE WITH THIS SECTION WITH THE WORDS, "CAUTION."
- 3) ON SITE TREATED WATER SYSTEMS SHALL BE MARKED IN ACCORDANCE WITH THIS SECTION WITH THE WORDS "CAUTION: ON-SITE TREATED NONPOTABLE WATER, DO NOT DRINK" IN YELLOW LETTERS (PANTONE 108 OR EQUIVALENT).
- 4) RAINWATER CATCHMENT SYSTEMS SHALL BE MARKED IN ACCORDANCE WITH THIS SECTION WITH THE WORDS: "CAUTION NONPOTABLE RAINWATER, DO NOT DRINK" IN YELLOW LETTERS (PANTONE 108 OR QUIVALENT).
- 18. ALL SPRINKLER HEADS OF THE SAME TYPE SHALL BE OF THE SAME MANUFACTURER.
- 19. OVERHEAD IRRIGATION SHALL NOT BE PERMITTED WITHIN 24-INCHES OF ANY NON-PERMEABLE SURFACE
- 20. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES
- 21. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO DEPTH OF SIX INCHES INTO THE SOIL.
- 22. PRESSURE REGULATION DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
- 23. CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD
- 24. I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.
- 25. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR

Water Budget Calculation: MAXIMUM APPLIED WATER ALLOWANCE (MAWA): (ETo)(0.62)(ETAF)(AREA) (50.1)(0.62)(0.55)(793)=13,547.7 GALLONS

Estimated Total Water Use (ETWU): (ETo)(0.62)x((PFxHA)/IE) (50.1)x(0.62)x(317.2/0.81) =12,164 Gallons

The ETWU (12,164 Gallons per year) is less than MAWA (13,547.7 Gallons per year), the water budget complies with the MAWA.

- NOTES:

 Recirculating water systems shall be used for water features.
- Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified imigation devices,
- Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur.
- A diagram of the irrigation plan showings hydrozones shall be kept with the irrigation controller for subsequent management purposes
- A certificate of completion shall be filled out and certified by either the designer of the landscape plans, imgation plans, or the licensed landscape contract
- An irrigation audit report shall be completed at the time of final inspection

	DRIPLINE SUPPLY/	EXHAUST LATERAL PIPE SIZING:
Э СРМ	ZONE FLOW 0 - 5 GPM 5 - 8 GPM 8.1 - 13 GPM 13.1 - 22 GPM	PIPE SIZE DRIPLINE TUBING or 1/2" PVC 3/4" PVC 1" PVC

CITY OF LOS ANGELES LANDSCAPE REQUIRED FOR 32,2667.2 SQ FT PRO	MEGE	D Houce		8
	DECI		200	
TECHNIQUE Drip/low precipitation circuits	TABLE II ITEM	#OF ITEM	POINTS PER	TOTAL
Automatic irrigation contest	1	5	5	25
W/ cycling capacity	3	2	5	10
Plants on site to remain more than 3 years		-		-10
Lawn area 0%-15% of landscape area	6	76	2	152
Rain sensor	2	1	10	10
TOTAL POINTS	4	2	2	10

Hydrozone 1	Plant water	Plant factor					
	use type	(PF)	Hydrozone Area (HA)	PFxHA (square fee			
	Moderate	0.4	square feet	1			
2	Moderate	04	465	186			
		-	220				
	L	SUM	685	88			
				274			

LINE	SOURE	LUSS	CALCULATI	ONS		
ELEVAL STATIC SOURC PHONE DATE (METER TION	πον	'A' (POTABLE) NOT AVAILABLE 74 PSI OWNER - CONTR	1° MCTOR	TO VERN	
ELEVATI	M DEMAND ON OF HIGHES	T HEAD	2.3 G.P.M.			7.
01Y. 1 1	SIZE	ITEM WATER BACKF FLOW	LOW		.6 120	LOSS
360°	1° 15° 3/4°	MASTE MAIN L R.C.V.	R VALVE INE ASSEMBLY		2.0 3.2 4.3 4.0	
o.		FITTING	L LINE LOSS LOSS (10%) ON CHANGE (+0')		3.1	WAX)
PESSURE	TO OPERATE	HEADS:			30	_
WEST ST	SSURE REQUI	RED: RE AVAILAE	RLE:		64.2 74	
SIDURE A	PRESSURE				+98	PCI

NOTE: ALL WATER PROOFING AND PLANTER SPECIFICATIONS BY OTHERS. THESE PLANS ARE FOR PLANTING AND IRRIGATION ONLY

28 A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS.

27 AN IBDUSTANCE. 27 AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION

28 AT THE TIME OF PINAL INSPECTION, THE PERMIT APPLICATION MIST PROVIDE THE OWNER OF THE PROPERTY WITH A REGISTRON MINITENANCE.

PARTICLE OF INSTALLATION MIST PROVIDE THE OWNER OF THE PROPERTY WITH A PAIN OF THE PAIN O RAIN / ET SENSOR PLACEMENT NOTE:

THE RAIN A CLEAR OF THE AREA DELECTED THE SOUTH OR SOUTHWESTERN FACING AREA OF THE ROOF THE AREA BELECTED SHALL BE INSTALLED ON THE SOUTH OR SOUTHWESTERN FACING AREA OF THE ROOF THE AREA BELECTED SHALL BE SOUTH ON A CLEAR OPEN AREA OF THE DOP FOR SHALL BE SOUTH ON THE AREA DELECTED BY SHADE FROM ANOTHER BUILDING OF THE AREA BELECTED SHALL BE CONTRACTOR OF THE LANDSCAPE ARCHITECT OF THE LANDSCAPE ARCHITECT OF THE LANDSCAPE ARCHITECT SHALL BRING ARCHITECT OF THE LANDSCAPE ARCHITECT SHALL BRING ARCHITECT OF THE LANDSCAPE ARCHITECT SHALL BRING ARCHITECT OF THE LANDSCAPE ARCHITECT OF THE LANDSCAPE ARCHITECT SHALL BRING ARCHITECT SHALL

IRRIGATION LEGEND

DESCRIPTION

0	RAINBIRD XCZ (775 BBS COLUMN)
1	RAINBIRD XCZ-073-PRF CONTROL ZONE KIT -REMOTE CONTROL VALVE FOR DRIPHBUBBLER SYSTEMS
8	HONTER WIRELESS SOLAR SYNC SENSOR MALEST LOTTER TO THE TOTAL THE TOTAL TO THE TOTAL THE TOTAL TO THE TOTAL TH
69	
H	HUNTER FCT-100 - 1° FLOW-CLIK FLOW SENSOR
0	FEBCO 825 Y - 1º BACKFLOW PREVENTION UNIT - TO BE INSTALLED IN STARKESS STEEL ENCLOSURE POWDER COATS COLOR BLACK. NBCO BRASS BALL VALVE - LIVE SIZE
FDC	FIRE DEPARTMENT CONNECTION - FOR REFERENCE CON II
POC.	VERIFY LOCATION ON SITE POINT OF COMMUNICATION
	13 PRESSURE MAINS INF CLASS NO.
	NON-PRESSURE LATERAL LINE SCH. 40 P.V.C INSTALL DEPTHS PER DETAIL. IRRIGATION PIPE PLACED ON OR ABOVE GRADE. IRRIGATION PIPE PLACED ON OR ABOVE GRADE.
0	DRIP LINE FLUSH CAP
A	HUNTER ICORE IC-600-PL OUTDOOR WALL MOUNT CONTROLLER WIS SOLAR SYNC. (DNE ON EACH PLOOR)
M	
©	HARTER PLD-BY MANUAL FLUBH VALVE - PROVIDE Y OF TURNING AFTER THE BHALL VALVE INSTITUTE OF THE PROVIDE VALVE BOUND VALVE BOLL ONE AT THE FARE PROOF OFFINITE LATERAL RISTRAL INFRIBATION OF DID OF THE PRODO ALTON FLOW HALL SHE MAY RESULTED INTRINSIPATION OF THE PRODUCT OF THE P
(A)	INSTALL 1 AIR RELIEF VALVE PER SYSTEM AT THE HIGHEST BI EVATION DOWN
7/2	RANGED XF5-03-19 SUB-SURFACE DIRECTION (*) 2 OF LEMTTE BUILD 15 ON CONTROL SPACING AT 40 PB ALT TURNS SHALL BE RISTALLED ** MINIMAL ME SUN FIRST-ED SUR MINIMA UP OF MINIMA SHALL BUILD NO MENTER VERY THE LATOUT ACC ** 7 N. LEYTER FOUN PRACTICE WITH MINIMA SHALL BUILD NO MENTER VERY THE LATOUT ACC ** 7 N. LEYTER FOUN PRACTICE WITH MINIMAL SHALL BUILD SHA
223	RAMBIRO (FS-09-93-08-34R-AC) EXPENDE (TURNO) 0.9 GPM EINTTERIS METO NE (TATE II SPACHEL AT 6) PRI AL, "LIANG SHALL SE ASTALLED" THAMBRAIN BELLOW PRISHED SOLO, GRANGE RF / AFA - 294.5 THE HERET ON CENTER VERS FT LATOUT AND NE ON CENTER ROW SPACHED IN THE STATE AT 1845 THE STATE OF THE STATE AT 1845
B	BUBBLER HUNTER PESAD HEAD ON SICH BO NIPPLE EACH SYMBOL REPRESENTS TWO BUBBLERS PER TREE PLACE BUBBLERS AT EDGE UF ROCTAL_ IN SPONS ITS SIDES OF TREE TYPICAL INSTALL BUBBLERS IT BELOW FINISH DRADE MITHIN PERFORATED PVC DRAME PIPE.
	RAINBIRD QUICK COUPLER SIDLING
0	RAINBIRD XACZ-075-PRF CONTROL ZONE KIT - REMOTE CONTROL ATMOSPHERIC VALVE FOR DRIP SYSTEMS.
0	NIBCO BRASS LOCKING KEY HOSE BIB - ATTACH TO BUILDING BY PLUMBER INSTALL PER LOCAL BUILDING CODE

DEVELOPERS NW0 Σ BLVD 91331 13906 W VAN NUYS E LOS ANGELES, CA 9 IRRIGATION NOTES AND LEGENDS DRAWING CALE RAWN SA 21-084 4 OF 11

LANDWELL

DESIGN

10847 Wescutt Ave Suntane, CA 91040 (916) 482 3737

WIRE SLEEVE 2" DIA. SCH 40 WHENEVER MAINLINES CROSS HARDSCAPE (TYPICAL) SLEEVE 2X SIZE OF MAIN LINE SCH 40 WHENEVER MAINLINE OR LATERAL LINES CROSS HARDSCAPE (TYPICAL) -0**)**(00000-3 944.60° F.S LOWEST POINT DESIGN 8 BYZZ/BY/ZZ/83 10847 Wescott Ave Suttand, CA 91049 (818) 482-3737 ammenabed@gmak.co EXIT NEW DRIVEWAY 34 ◆ 945.75 F.F PAVING AND ALL HARDSCAPE PER THE ARCHITECT (3) 1)8 (2) D.A IM DEVELOPERS 945.50° F.S OWNER 4 s SLEEVE 2X SIZE OF MAIN LINE SCH 40 WHENEVER MAINLINE OR LATERAL LINES CROSS HARDSCAPE. (TYPICAL) 945.75 F.8 (5) S 6 E.V (7)s **8**s 9 s 10 EV --(11) S (12) S (13) S (14) s FIRST FLOOR -IRRIGATION PLAN (15) S DRAWING TITLE **1** (16) EV A 142 P.S NOTE: ALL PLANTERS NOT OVER NATURAL GRADE REQUIRE SPECIAL STRUCTURAL CALCULATIONS BY OTHERS (17) EV POINT OF CONNECTION (FIRST FLOOR) NOTE ALL DRAINS, AIR GAPS, WATER PROOFING AND PLANTER SPECIFICATIONS BY OTHERS THESE PLANS ARE FOR PLANTING AND IRRIGATION ONLY DO NOT ALTER OR PUNCTURE ANY WATER PROOFING. FIRST FLOOR - IRRIGATION PLAN DRAWN PRESSURE TO BE FIELD VERIFIED BY CONTRACTOR PLANNING AND ZONING INFORMATION SCALE: 1/8"=1'-0" (34) UNIT APARTMENT BUILDING 4 STORIES RESIGENT AL BUILDING WITH GARAGE PARK FIRST FLOOR SEE SHEET L-3 FOR IRRIGATION NOTES AND LEGENDS ADDRESS. LOT AREA 13666 W FAN NUYS BLVD. LDS ANGELES. CA 91331 SEE SHEETS L-5 - L-6 FOR IRRIGATION DETAILS 32.267 2 MF (PER ZIMAS) SCALE 1/8" - 1 0" 5 QF 11

LANDWELL

13906 W VAN NUYS BLVD LOS ANGELES, CA. 91331

8.4

- 5

WIRE SLEEVE 2" DIA. SCH 40 WHENEVER MAINLINES CROSS HARDSCAPE (TYPICAL) VAN NUYS BLVD. **® ®** 18 1 0 (TREES) 5-000 MAX 2% Slope ĴΒ FREEWAY APPROACHES MAX 2% Slope SOLAR PANEL FOR FUTURE %%%% ***** CLASS "A" BUILT-UP ROOFING (TYP) COOL ROOF REQUIRED **888** DURO-LAST 50 MIL MEMBRANE SRI-82 *** *** MAX 2% Slope MAX 2% Slope

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POINT OF CONNECTION (ROOF PLAN)

CONTRACTOR TO COORDINATE WITH CIVIL PLANS FOR LOCATION OF WATER CONNECTION. INSTALL A BACKFLOW MASTER VALVE/PRESSURE REGULATOR TO BE SET @ 85 PSI COORDINATE THESE LOCATIONS WITH OWNERIOEVELOPER.

PRESSURE TO BE FIELD VERIFIED BY CONTRACTOR

ROOF PLAN - PLANTING PLAN SCALE: 1/8"=1'-0"

SEE SHEET L-3 FOR IRRIGATION NOTES AND LEGENDS SEE SHEETS L-5 - L-6 FOR IRRIGATION DETAILS

(24, 34" APAPMENT BUILDING 4 STORIES RESIGN "AL BUILDING WITH GARAGE PARKING ON FIRST FLOOR

13666 W VAN NUYS BLVD LOS ANGELES. CA 91331 32,267 Z SF (PER ZIMAS)



18-14 B.A.

LANDWELL DESIGN

IM DEVELOPERS

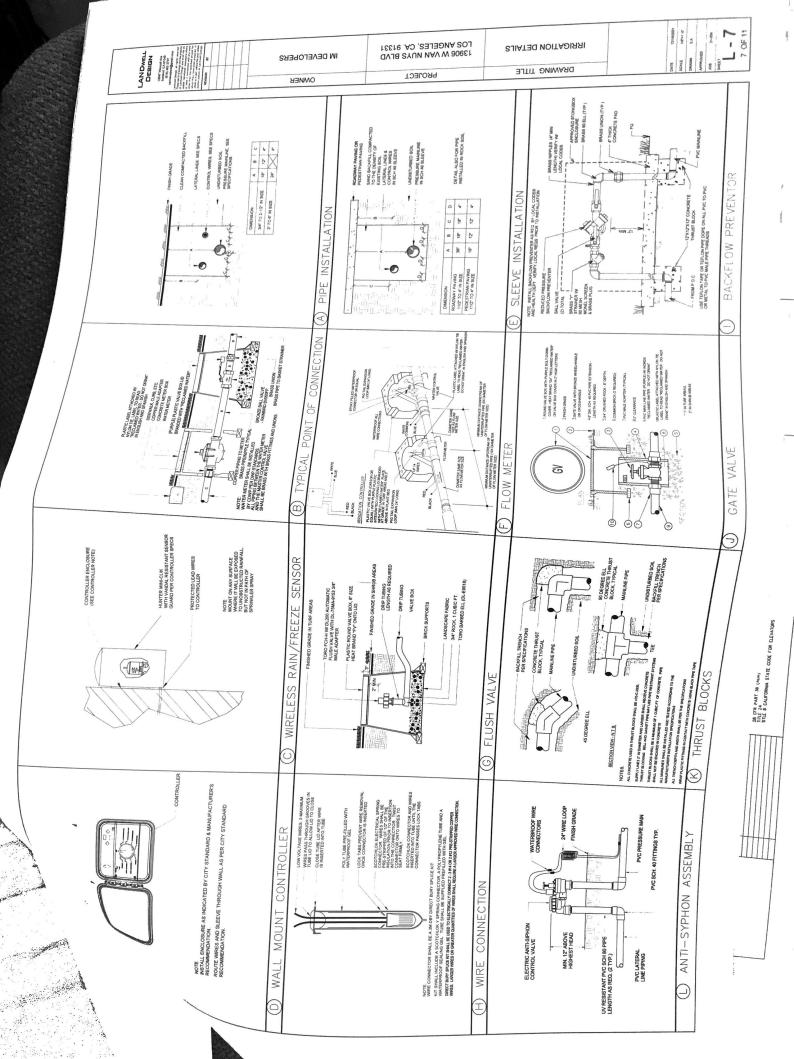
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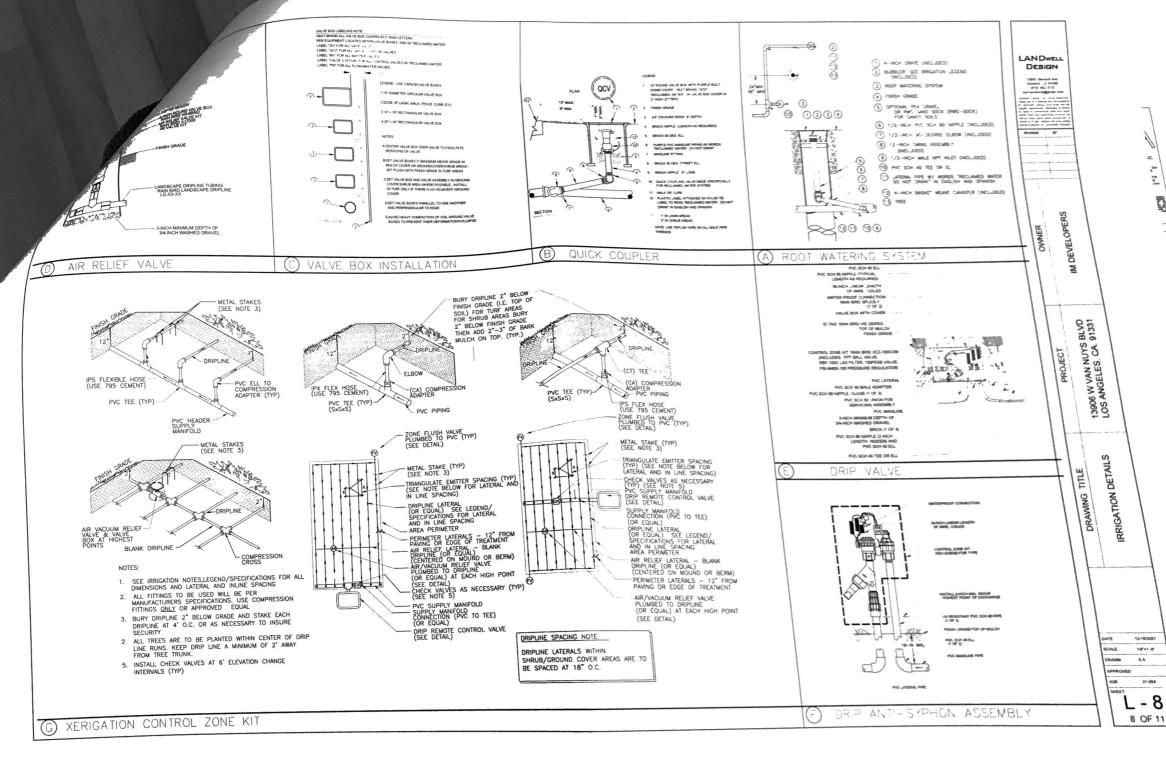
FIRST FLOOR - IRRIGATION PLAN

DRAWING TITLE

PROJECT

L-6 6 OF 11





he halowed in all cases where the

and regulations governing or relating to any portion and their contained a part of these specifications, and their contained in these specifications shall ove rules and regulations or requirements of the and drawings call for or describe materials, workmanship. standards, or larger size than is required by the above see specifications and drawings shall take precedence

as an of possible to midicate all offsets. fittings, steems, etc.

The contexts shall carefully investigate the structural and finished
the context shall carefully investigate the structural and finished
the sent and pain his work accordingly, furnishing such fittings, etc. as
the work hall be investigate and generally diagrammatic and indicative of
the work hall be investigated and architectural feet as a namer as to avoid conflicts
where the context hall be investigated and installed whether
as about a context of a sent and the structural feet as shown on the drawings when it as
associated in methods of the specifications;
as deep on the drawings by notes or details shall be furnished and installed whether
as a section of the section of the specifications;
as decided to the section of the coverage and the significance of discrepancies in area dimensions
are attention from these been considered as differences or discrepancies in area dimensions
the attention of the Owners authorized representation. In the event this notification is not notification in on the section of the Owners authorized representation. In the event this notification is not in the event that notification is not in the event this notification is not in the event this notification is not in the event this notification is not in the event the notification is not in the event that notification is not in the event that the internal inter

III SLIBMITTALS

A. Material List:

1. The contractor shall furnish the articles, equipment, materials or processes specified by name for drawings and specifications. No substitution will be allowed without prior written approval by the Architect.

the Architect.

2. Complete material list shall be submitted prior to performing any work. Material list shall include the manufacturer, model number and description of all materials and equipment to be

useu.

3. Equipment or materials installed or furnished without prior approval of the Architect may be

3. Exquirems or insurens insured or flurishes without prior approval of the Archiect may be rejected and the contractor required to remove such materials from the site at his own expense.
4. Approval of any item, alternate or substitute indicates only that the product or product apparently meet the requirements of the drawings and specifications on the basis of the

Manufacturers warranties shall not relieve the contractor of his liability under the guarantee.
 Such warranties shall only supplement the guarantee.

B. Record and As-Built Drawings:

The contract shall provide and keep up to date a complete as-built record set of blue line ozalid prints which shall be corrected daily and show every change from the original drawings and specifications and the exact as-built locations, sizes, and kinds of equipment. Prints for this purpose may be obtained from the Architect at cost. This set of drawings shall be kept on the site and shall be used only as a record set.

Site and shall be used only as a record set.

2. These drawings shall also serve as work progress sheets, and the contractor shall make neat and legible annotations thereon daily as the work proceeds, showing the work as actually installed. These drawings shall be available at all times for the inspection and shall be kept in a location dealing the the Architect.

These drawings shall be available at all times for the inspection and shall be kept in a locatio designated by the Architect.

3. Before the date of the final inspection, the contractor shall transfer all information from the as-built prints to an ozallá septe, procured from the Architect. All work shall be neat, in ink and subject to the approval of the Architect.

4. The contractor shall dimension from two (2) permanent points of reference, building comers, sixtequalite or mark intersections, etc., the location of the following terms:

sidewalks, or road intersections, etc., the location of the following items:

a. Connection to existing water lines.

- b. Connection to existing electrical power . Gate valves
- d. Routing of sprinkler pressure lines (dimension maximum 100 feet along routing).
- Sprinkler control valves. Routing of control wiring.
- g. Quick coupling valves
- . Other related equipment as directed by the Architect.

- C. Controller Charts:

 1. As-built drawings shall be approved by the Architect before controller charts are prepared.

 2. Provide one controller chart for each controller supplied.

 3. The chart shall show the area controlled by the automatic controller and shall be the maximum. size which the controller door will allow

 - size which the controller door will allow.

 The chart is to be a reduced drawing of the actual as-built system. However, in the event the controller sequence is not legible when the drawing is reduced, it shall be enlarged to a size that will be reachable when reduced.

 The chart shall be a black line or blue line ozaild print and a different color shall be used to
 - indicate the area of coverage for each station.

 8. When completed and approved, the chart shall be hermetically sealed between two pieces of plastic, each piece being a minimum 10 mils.

 These charts shall be completed and approved prior to final inspection of the irrigation system.

- 7 These chafts sana be completed and approve junu to small impection of the impation syst.

 D Operation and Maintenance Manuals:

 1. Prepare and deliver to the Architect within ten calendar days prior to completion of the construction, two hard cover binders with three rings containing the following information:

 a. Index sheet staffing contractors address and telephone number, list of equipment with name and addressess of local manufacturers representatives.

 b. Catalog and parts sheets on every material and equipment installed under this contract.

 - c. Guarantee statement.
 d. Complete operating and maintenance instruction on all major equipment.
 In addition to the above mentioned maintenance manuals, provide the Owners maintenance personnel with instructions for major equipment and show evidence in writing to the Architect at the conclusion of the project that this service has been rendered.
- Supply as a part of this contract the following tools:
 - a. Two (2) sets of special tools required for removing, disassembing and adjusting each type of sprinkler and valve supplied on this project.
 b. Two (2) fee foot valve keys for operation of gate valves.

- c. Two (2) keys for each automatic controller
- d Two (2) quick coupler keys and matching hose swivels for each type of quick coupling valve
- 2 The above mentioned equipment shall be turned over to the Owner at the conclusion of the project. Before final inspection can occur, evidence that the Owner has received material must be shown to the Architect.

IV. PRODUCT DELIVERY, STORAGE AND HANDLING

PROJUCT ISSUED ISSUED IN THE PROPERTY OF THE PROPERTY ISSUED IN THE PROPERTY IS A Handling of PVV Pipe and Filtings:

The contractor is cautioned to exercise care in handling, leading, unloading and storing of PVV Pipe

The contractor is cautioned to exercise care in handling, leading, unloading and storing of PVV Pipe

The contractor is caution to exercise the property of the purpose of the p

V GUARANTEE

- A The guarantee for the sprinkler irrigation system shall be made in accordance with the A The guarantee for the sprinder irrigation system shall be made in accordance with the statched form penetral conditions and supplementary conditions of these specifications shall be filled with the owner or his representative prior perceptance of the irrigation system. B A copy of the presentative form the configuration of the presentation of the configuration of the presentation o

We hereby guarantee that the sprinkler impation systems we have himshed and installed is free from defects in maletial synthemic registers between the work in the second and special systems which we have himshed and installed is free the drawings and special process. Ordinary wear and her and the completed in accordance with the sprinkler or sprinkler or soft sprinkler or workmarkler or workmarkl GUARANTEE FOR SPRICKLER IRRIGATION SYSTEM

COMPANY SIGNED ADDRESS PHONE DATE OF ACCEPTANCE:

VI. MATERIALS

A General Use only new materials of brands and types noted on drawings, specified herein, or approved equals.

B. PVC Pressure Main Line Pipe and Fittings:

- PVC Pressure main Line Fipe and Frittings.

 1 Pressure main line prings for sizes 2 inches and larger, shall be PVC Class 315.

 2 Pipe shall be made from an KSF approved Type I, Grade I, PVC compound conforming to ASTM resure specification 1734. All pipe must meet requirements as set forth in Federal Specification PS-22-70, with an appropriate standard dimension (S. DR.). (Golvent-wed Pipe).

 3 Processing main Sing sizes of for sizes 1-1/2 inches and ensultar shall be PVC Schedule 40 with solve
- 3. Pressure main line piping for sizes 1-1/2 inches and smaller shall be PVC Schedule 40 with solven
- welded joints.

 Pipe shall be made from NSF approved Type I, Grade I PVC compound conforming to ASTM reals specification 1785. All pipe must meet requirements as set forth in Federal Specification PS-2-170. (Solvent-weld Pipe).

 PVC Solvent-weld Bimps shall be Schedule 40, 1-2, II-I NSF approved conforming to ASTM test procedure. Or Page.
- 6. Solvent cement and primer for PVC solvent-weld pipe and fittings shall be of type and
- installation methods prescribed by the manufacturer

 7. All PVC pipe must bear the following markings:

 a. Manufacturers name
- b. Nominal pipe size c. Schedule or class d. Pressure rating in P.S.I.
- e. NSF (National Sanitation Foundation) approval f. Date of extrusion

- f. Date of extrusion
 All fittings shall bear the manufacturers name or trademark, material designation, size applicable I.P. S. schedule and NSF seal of approval.
 C.PUC Non-Pressure Laterial Line piping shall be PVC class 20 with solvent-weld pints.
 1. Non-pressure burded laterial time piping shall be PVC class 20 with solvent-weld pints.
 2. Pipe shall be made from NSF approved, Type I, Grade III PVC compound conforming to ASTM reash specification D1724. All pipe must meet requirement as set forth in Federal Specification.
 3. EX. (2) with an appropriate standard dimension ratio.
 3. EX. (2) with an appropriate standard dimension ratio.
 3. EX. (2) a set forth in Pederal Specification as set forth in Pederal Specification as set forth in section IZ 018 of these specifications.
- Brass Pipe and Fiftings:

 1. Where indicated on the drawings, use red brass screwed pipe conforming to Federal
 Specification number WW-P-351.
- Specialization number yvvv-r-১১1.

 2. Fittings shall be red brass conforming to Federal Specification number WW-P-460.
- 2. Intaling shear by two under committing to a queries opposite the properties.

 Selevanized Player Fittings:

 1. Where indicated on the drawings, use galvanized steel pipe ASA Schedule 40 mild steel screwed.
- pipe.

 2. Fittings shall be medium galvanized screwed beeded malleable iron. Galvanized couplings may be
- All galvanized pipe and fittings installed below grade shall be painted with two (2) coats of Kippers number 50 Bitumastic.
- Gate Valves:

 1. Gate Valves 3 inch and smaller shall be 125 lb. SWP bronze gate valve with screw-in bonnet,
- 1. Gate Valves 3 inch and smaller shall be 163 10, over busize gate varve with screw-in ponner, nonsing stem and sid wedge disc.
 2. Gate valves 3 inch and smaller shall have threaded ends and shall be equipped with a bronze business.
- handwheel.

 A Gale valves 3 inch and smaller shall be similar to those manufactured by Nibco or approved equal.

 4. All gate valves shall be installed per installation detail. A. All gate varies shall be a shall have a brase two-piece body designed for working pressure of 150 P.S.L. operable with quick coupler, Key size and type shall be as shown on plans.

- Backflow Prevention Units:

 1. Backflow prevention and or vacuum breakers shall be of size and type as indicated on the distribution. It is a shall be a similar to the properties of the proper
- nth-Drain Valves:

 Anti-Crain valves shall be of heavy duty virgin PVC construction with F.I.P. thread inlet and outer. Internal parts shall be stained as steel and neoprene. Anti-Crain valves that be field equivative against dirework from 5 to 40 feet of fread. Anti-Crain valve shall be strainer to the
- Control Wiring.

 1. Connections between the automatic controllers and the electric control valves shall be made with direct bornal copper wire AWG-LF = 600 voit. Pilot wires shall be a different color wire for each submission combotler. Common wires shall be written with a different color stope for each submission controller. In accordance with a different color stope for each submission in accordance with a submission controller. The submission controller in accordance with a submission controller in accordance with a submission controller. The submission controller is accordance with a submission controller in a controller in a submission controller. The submission controller is a submission controller in a controller in a submission controller in a submission controller. The submission controller is a submission controller in a submission controller in a submission controller.
- supply or lateral times wherever possume

 3. Where more than one (1) wire is placed in a trench, the wiring shall be taped together at intervals

 3. The control of the con
- of ten (10) test.

 An expansion cust should be provided within three (1) lest of each wine connection and at test expansion cust should be provided within three (1) lest of each wine connection and at test expansion cust should be showned by wrapping at least live (5) turns of wite shound a one-inch in a surface shall be read used.
- clamatest pipe them without awing the pipe.

 A. It aplices that with 5 control of 2, 2570 Connector Sealing Packs, Pen-Tils wire connector assignment of 2, 2570 Connector Sealing Packs, Pen-Tils wire connector sealing pack, without prior approval of the subtrastic controller and electrical control valves will not be allowed. Automatic Controller and electrical control valves will not be allowed.

- Automatic Controllers

 Automatic Controllers shall be of size and type shown on the plans.

 2 place controllers shall be of size and type shown on the plans.

 3 place controllers shall be approved by the Owners authorized representative controllers. But 100 yet described power to the automatic controllers and controllers are presented by the controllers of the plant of the plant

- As a second reverse of the property of the pr

- VII. INSPECTION
- In 19-1 As or approved equal

 1. All sprincks heads shall be of the same trop, type and deliver the same rate of procedures

 2. Sprincks heads shall be of the same trop, type and deliver the same rate of procedures

 2. Sprincks have a procedure, and declared as above on a plants and or

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 6.
- Site Conditions:

 1. All scaled dimensions are approximate The contractor that check and verify all scale dimensions and received Actions are approximated to proceeding with work under only and severe and the scale of Center on exposurable profession of the procession of the scale of the sc VIII. PREPARATION
- A Physical Layout
 Page 1 Page 2 Page 2 Page 2 Page 3 Pag
- Whate Supply.

 1. Sprinker impallion system shall be connected to water supply point of connection as indicated
 in the dimensions shall be made at approximate locations as shown on drawledge. Contractor as
 possible for minor challeges caused by actual safe conditions.

 Fundrical Supply.
- responsible for minor changes caused by actual tide conditions. Contractor is

 C. Electrical connections for automatic controller shall be made to electrical points of connections for automatic controller shall be made to electrical points of connections.

 8.8 Indicated on the dismandiac controller shall be made to electrical points of connections. Connections shall be made approximate locations as shown on drawings. Contractor is

 INSTALLATION.

- Tenching

 1. Dig trenches straight and support pips continuously on bottom of trench. Lay pipe to an even

 2. Provide for a minimum of eighben (10) inches cover for all enemys and an noted.

 3. Provide for a minimum cover of herbe (12) inches for all non-pressure lines.

 4. Provide for a minimum cover of degitheren (18) inches for all control wiring.
- Backfilling

 1. The trenches shall not be backfilled until all required tests are performed. Trenches shall be carefully backfilled with the excendent materials approved for backfilling, consisting of earth, loam, mechanically, compacted in land-caped areas to a dry density equal to adjacent undisturbed shall be planting areas. Backfill will conform to adjacent grades without days, sushen areas, humps of other surface irrecularities.
- planting areas tracas in the terror in a separative planting areas of the surface implanties.

 2. A fine granular material backfill will be initially placed on all lines. No breign matter larger

 2. A fine granular material backfill will be initially placed in the initial backfill.
- 2. A fine granular material backfil will be initially placed on all lines. No foreign matter larger than one-half (1/Q) either is 20x will be permitted in the initial backfil.
 3. Flooding of tenches will be possible only with approval of the Architect, and the processing of the processing
- Trenching and Backfill Under Paving:

 1. Trenches located under areas where paving, asphaltic concrete or concrete will be installed shall 1. Trenches located under areas where paving, asphaltic concrete or concrete will be installed shall be backfilled with sand (a layer six (0)) inches blook be pipe and three (2)) inches above the pipe) and compacted in location 5 beprent composition, using manual or machanical among devices. Trenches for piping any law proposition of the existing adjace among devices, undisturbed soft And shall be a first muyelyide condition. All trenches shall be left flash with the adjoining grade. If we have present our surrounders of the shall piping under paving more than the property condition. So the property condition of the property condition of the paving under causing one by placing, boung or hydraulic driving, but where a condition or his behavior of sidewarks and or concrete is necessary, it shall be done and replaced.
- Generally, pping under existing waits is done by jacking, boring or hydrautic driving, but where any cutting or breating of siderwalks and/or concrete is necessary, it shall be done and replaced by the contractor as part of the contract out. Permission to cut or break sidewalks and/or concrete shall be obtained from the Architect. No hydrautic driving will be permitted under concrete paving.

- Routing of sprinkler irrigation lines as indicated on the drawings is diagrammatic. Install lines
- (end various sessembles) in such namer as be confirm with the details per just (end various sessembles) in such namers as be confirm with the details per just 2. Install NO multiple assembles on plastic lines. Provide each assembly with the own culter. 3. Install all assembles specified herein in accordance with respective detail. In alleance of detail drawings or specifications perfaming to specific detain required to complete work, perform such work in accordance with best standard practice with provide provide of Architecture.
- PVC pipe and fittings shall be thoroughly cleaned of dirt, dust and moisture before installation Installation and solvent welding methods shall be as recommended by the pipe and fit
- tape or approved equal shall be used on all threaded PVC to PVC, and on all threaded PVC to metal joints Light wrench pressure is all that is required, Where threaded PVC connect required, use threaded PVC adapters into which the pipe may be welded.
- E. Line Clearance: All lines shall have a minimum clearance of six (6) inches from each other and from lines of other trades. Parallel lines shall not be installed directly over one another.
- Automatic Controller Install as per manufacturers instructions. Remote control valves shall be connected to controller
- n numerical sequence as shown on the drawings.
- High Vottage Winnig for Automatic Controller
 1 120 volt power connection to the automatic controller shall be provided by the imgation contractor All electrical work shall conform to local codes, ordinances, and union authorities having jurisdiction
- Install where shown on drawings and details. When grouped together, allow at least twelve (12) when where snown on orawings and oresis viven grouped opporter, and at mast treever (12) inches between valves, install each remote control valve in a separate valve but. The impassion controller letter and the valve station number shall be placed on a plastic identity tag and stacked to the valve writes. The valve box shall be branded on the cover with the same letters.
- After all new sprinkler pipe lines and nsers are in place and connected. All necessary diversions over all new sprinker pipe lines and nears are in piace and connected. All necessary diversion
 work has been completed, and prior to installation of sprinker heads. The control vaves shall be
 opened and at all head of value
 posed to flush out the system.
 Sprinker heads shall be installed to the system and the sprinker has been accomplished to
 Sprinker heads shall be made only after flushing of the system has been accomplished to
 Sprinker heads.
- Sprinkler Heads:

 1 Install the sprinkler heads as designated on the drawings. Sprinkler heads to be installed in this
- When the sprinter neads as designated on the orderings openine retains to be required in it.
 Work shall be equivalent an all respects to those destricted.
 Specing of heads shall not exceed the maximum indicated on the drawings. In no case shall the spacing exceed the maximum recommended by the manufacturer.

A TEMPORARY REPAIRS

Pleases the sight to make temporary repairs as rescessary to keep the approbler grant on operating condition. The exercise of the sight by the Budder-Developer shall be contension of the responsibilities under the terms of the guarantee as herein

XI EXISTING TREES

Excit To TREES

What is a source to excited adjacent to emitting them the contractor shall use all possible coins so most graph to be sent five sooth. Excrevation in some when the off inch and larger stocks occur that you must let what be off, inch and larger shall be sooned as the coins and the sent to the coins of excessive and an extraction of excessive and the sent to the coins and the sent to the coins and the coins and the sent to the coins and t

XII FIELD QUALITY CONTROL

- FELO CALLIT CONTROL

 A Aguanteed of the Signature

 2 it is determined to the signature of the signature

- The plans is reading of integration system:

 1 This continues to shall request the presence of the Architect in writing at least 72 hours in schemos of the presence of the Architect in writing at least 72 hours in schemos from under hydrocastic presence of 150 bis, per equiver each, and prove ventralight. Follow Testing of pressure man lines shall occur prior to installation of electric control values.

 1. At review order covered areas shall be tested under bydrocastic pressure of 150 bis. per equiver
- A Popul price provided and present must be seen and course each and prove values. 3 All pages under provided and an account of the provided and provided and provided and provided and provided and provided without provided provided and provided without provided provided and provided without provided provided and provided and provided without provided provided and provided provided and provided provided and provided provided and provided provid

XIII. MAINTENANCE

A. The entire sprinkler irrigation system shall be under full automatic operation for a period of A rise embe sponster impassor systems are because an business operander (7) days prior to any planting.

B. The Architect reserves the right to waive or shorten the operation period.

Clean-up shall be made as each portion of work progresses. Refuse and excess dirt shall be removed from the site, all walks and paving shall be troomed or weathed down, and any dame sustained on the work of others shall be repaired to original conditions.

- XV FINAL INSPECTION PRIOR TO ACCEPTANCE A. The contractor shall operate each system in its entirety for the Architect at time of final inspection. Any terms deemed not acceptable by the inspector shall be reworked to the complete.
- salistation of the Architect.

 B. The contractor shall show evidence to the Architect that the Owner has received all accessories, charts, record drawings, and equipment as required before final inspection can occur

XVI. FINAL INSPECTION SCHEDULE

- CFRM-INPECTOR SCREDULE
 A Continues have been responsible for notifying the Architect in advance for the following persons.
 A Continues have been responsible for notifying the Architect for the following responsible for notifying the Architect for the following responsible for the indicated in the following responsible for extending the responsible for the following responsible for the following responsible for the following responsible for a following person for the following responsible for the following resp n inspections have been conducted by other than the Architect show evidence of when
- When inspections have been conducted by offine than the Austract show evidence of when and by whom these inspections were majorities. On inspection will commence without all-ball dimetigs, in the event the contractor calls for an inspection without expecting evidence are ball dimetigs, and the contractor calls for an inspection without expections. The evidence calls for an inspection without preparing the system for inspection, the shall be responsible for reministration of the evidence of the contract of the contract of the evidence of the contract of the evidence of the contract of the evidence of

DEVELOPERS ≥ BLVD 91331 13906 W VAN NUYS LOS ANGELES, CA. SPECIFICATIONS DRAWING IRRIGATION

> 100-1 0 84

- 9 9 OF 11

LANDWELL

DESIGN

b. Gro-Power planting tablets

c. As Specified

C. Tree Support

- Materials for staking and guying shall be as follows:

 1. Support stakes shall be lodge pole pine stakes, Length as determined to facilitate upright stand as described.
- 2. Ties: Elastic webbing, polyethylene tape, or Owner approved tie.
- 3. Guy wire, steel guy anchor and plastic hose tie of adequate size and length to safely support

tree.

D. Miscellaneous Materials:

Sand: Washed river sand or equal.

Post Emergent Weed Killer: Paraquat, Roundup, or Owner approved herbicide

Tree Wound Paint: As approved.
Fiber: Wood cellulose mulching fiber Conweb or equal

Chemical Additive: Seed germinating additive CPA 4000 or equal

The scientific and common names of plants herein specified conform with the approved names given in A Checklist of Woody Ornamental Plants in California, Manual 32, published by the University of California School of Agriculture (1963). 2. Plant List for Bid:

The contractor is herein referred to the landscape plans for the plant material selection and the requirements of this section of the specifications. Container sizes, unless otherwise stated, have been used to indicate the size of the plant material required

Each group of plant materials delivered to the site shall be clearly labeled as to species, variety and nursery source; however, determination of plant

species or variety will be made by the Landscape Architect, and his decision will be final.

The contractor shall notify the Landscape Architect 72 hours in advance of delivery of all plant materials and shall submit an itemized list of the plants in each delivery.

As a convenience to the contractor, the Landscape Architect upon request, will inspect box size material at the source nursery prior to delivery at the cost of the contractor. Said source nurseries shall be reasonably close to the project site as determined by the Landscape Architect. Plant material so inspected shall arrive at the project site in an undamaged condition.

4 Quality and Size: a. Quality and Sales.

Plants shall be in accordance with the California State Department of Agricultures regulation for nursery inspections, rules and grading. All plants Plants steal out it accordance with the Committee of the of the bank, excessive available and extended and extended and fibrous root systems which are not or or or boundaries, in the event of disagreement as to condition of root system, the root condition of the plants furnished by the contractor in containers will be determined by removal of earth from the to conclusion or 1004 system, which can be a substantial of the total number of plants of each species or variety. Where containing one plants or more than two percent of the total number of plants of each species or variety. Where containing grown plants are from several sources, the roots of not less than two plants or each species or variety from each source will be inspected. In case the sample plants inspected are found to be defective, the clauscape Architect reserves the right to reject the entire for this or plants inspected or the other plants inspected are found to be defective. The character plants inspected or the entire for this or plants inspected or found to be plants inspected or found to be defective. The character plants inspected or found to the plants inspected or the character plants inspected or the character plants inspected or the plants inspected or the character plants inspected or the plants inspected plants in special or under the control of the contr

inspection will be consumed as aumental and that normally expected for species and variety of commercially available nursery stock, or as specified in The size of the plants will correspond with that normally expected for species and variety of commercially available nursery stock, or as specified in the Special Conditions or drawings. The minimum acceptable size of all plants, measured before pruning with the branches in normal position, shall onform with the measurements, if any specified on the drawings in the list of plants to be furnished. Plants larger in size than specified may be conform with the inequality of the Landscape Architect, but the use of larger plants will make no change in contract price. If the use of larger plants is approved, the ball of earth or spread of roots for each plant will be increased proportionately

5. Rejection or Substitutions: 5. Rejection of Substitutions.

All plants not conforming to the requirements herein specified, shall be considered defective, and such plants, whether in place or not, shall be All plants not conforming to an experiment store of the state of the work and replaced with new plants at the confrictors expense. The plants shall be marked as rejected and immediately removed from the site of the work and replaced with new plants at the confrictors expense. The plants shall be of the species, variety, size and condition specified herein or as shown on the drawings. Under no condition will there be any substitution of plants. or sizes of those listed on the accompanying plans, except with the expressed consent of the Landscape Architect

At no time shall trees or plant material be pruned, trimmed or topped prior to delivery and any alteration of their shape shall be conducted only with

At no time snail trees or plant material so promise, all the approval and when in the presence of the Landscape Architect and as noted in the Planting Specification

7 Protection:
All plants at all times shall be handled and stored so that they are adequately protected from drying out, from wind burn, or from any other injury.

8 Right of Inspection:
The Landscape Architect reserves the right to approve or reject at any time upon delivery or during the work any or all plant material regarding size. variety or condition.

E Seed:

Seed:
All seed used shall be labeled and shall be furnished in sealed standard containers with signed.
All seed used shall be labeled and shall be furnished in sealed standard containers with signed. As seed used shall be laineded and shall be furnished in sealed standard containers with symmetric copies of a statement from the vendor, certifying that each container of seed delivered is fully labeled in accordance with the California State Agricultural Code and is equal to or better than F. Hydro-Mulching Materials.

rysco-valuating Materials.
The hydro-mulch mix shall consist of wood cellulose mulching fiber, Conweb mulching fiber or according to the convenience of the convenien

or equal.

G. Hydro-Mulching Application:

G. Hydro-Mulching Application:

Gaupment: Hydraulic equipment used for the application of the fertilizer, seed and slurry of Architect. This equipment are a busine, agitation system as approved by the Landscape to agitate, suspend and hotal have a busine, agitation system and operating capacity sufficient mulch plus a combined total of 7 lbs. fertile solids for each 100 sless than 40 lbs. of fiber distribution lines shall be large enough for exert slopage and ablics of water. The surry hydraulic spray nozzles which will provide environmental solids of the equipment of the surry hydraulic spray nozzles which will provide environmental solid solid solid with a set of shall have a minimum capacity of 1,500 galloss and shall be modeled of drawn by a separate unit, with will place the sturry tank and spray nozzles where the surry tank and spray nozzles where the surry tank and spray nozzles and shall be modeled for surry to a separate unit.

GRADING AND SOIL PREPAMATION

The general subsoil grading, deep ripping, billing, and establishment of the rough grade will be done by others, under a separate contract. Other work such as five grading, cultivation (and in some cases, addition of topsoil) and/or soil conditioners are required to prepare the first grade of the stable of the conditioners are required to prepare the first grade the following manner. Materials shall, at the following ries, be uniformly spread and cultivated in the following manner in man of mechanical biller into the top 8 inch of soil per 1000 square feet.

See Soil Notes
4 cu. Yards of Nitrogen Stabilized

4 cu. Yarros or move of the compact of the compact

A. Final Grades.

After the foregoing specified deep watering, minor modifications to grade may be required to establish the final grade. These areas shall not be worked until the moissure content has been establish the final grade. By the content has been in the proper declarage of the support of the proper declarage of the support.

It finish grading shall insure proper drainage of the support declarage of the support.

All areas shall be graded so that the final grades will be one inch below adjacent paved areas, sidewalks, valve boxes, bedeen, clean-outs, denies, machables, etc.

Surface drainage shall be away from all building foundations.

Eliminate all erosion scars
 For socis less than 6% organic matter in the top 6 inches of soil, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil.

IV. PLANTING INSTALLATION

PLANTINS INSTALLATION

Actual planting shall be performed during those periods when weather and soil conditions are suitable and in accordance with locally accepted practices, as approved by the Landscape Architect.

post-emergent weed river, according to the manufacturer. The contractor shall then wait an additional one (1) week to allow the weed killer to dissipate, then plant as indicated B Layout of Major Plantings: Layout of Major Plantings:

Loadinos for plants and outlines of areas to be planted shall be marked on the ground by the contractor before any pits are dug. All such locations shall be approved by the Landscape Architect. If an underground construction or utility international or international planting areas, other locations for planting may be selected by the Landscape Architect.

C. Planting of Trees, Shrubs and Vines: ting of Irees, oritube and write-Excavation for planting: Excavation for planting shall include the stripping and stacking of all acceptable topsoil encountered within the areas to be excavated for trenches, tree holes, plant

pits and planting beds.

a. Protect all areas from excessive compaction when trucking plants or other material to the planting site.

b. All excavated holes shall have vertical sides with roughened surfaces and shall be of a size D. All excavation inversal and inch minimum deeper than the root ball.
 Excess soil generated from the planting holes and not used as backfill or in establishing the

final grades shall be removed from the site.

No planting shall be done in any area until the area concerned has been satisfactorily prepared in ordance with these specifications. Only as many plants as can be planted and watered on that same day shall be distributed in

planting area.

Containers shall be opened and plants shall be removed in such a manner that the ball of earth surrounding the roots is not broken, and they shall be planted and watered as herein specified immediately after removal from the containers. Containers shall not be opened prior to placing the plants in the planting area

Container plants shall be backfilled with: See Soil Notes

Palm Backfill

8 parts by volume washed river sand 2 parts by volume nitrogen stabilized organic amendment

10 lbs. Gro-Power palm fertilizer per cubic yard of mix

2 lbs. Agricultural gypsum per cubic yard of mix

All plants which settle deeper than specified above shall be raised to the correct level. After the plant has been placed, additional backfill shall be added to the hole to cover approximately one-half of the height of the root ball. At this stage water shall be added to the top of the partly filled hole to thoroughly saturate the root ball and adjacent soil.

After the water has completely drained, planting tablets shall be placed as indicated

below: 3 tablets per one gallon container

8 tablets per five gallon container 15 tablets per fifteen gallon container 16 tablets per 20 inch and 24 inch box

18 tablets per 30 inch box 20 tablets per 36 inch box

22 tablets per 42 inch box 24 tablets per 48 inch box

Larger sizes. For each half inch caliper measured 14 inches above soil level use 3 additional tablets. The reminder of the hole shall then be

the hole shall then be backfilled. Planting tablets shall be set with each plant on the top of the root ball while the plants are still in their containers so the required number of plants.

the required number of tablets to be used in each hole can be easily verified.

After backfilling, an earthen basin shall be constructed around each plant. Each basin shall be of a depth sufficient to hold at least two inches of water. Basins shall be of a size suitable for the individual plant, In no case shall a basin for a fifteen each inches of water. Basins shall be of a size suitable for the individual plant, In no case shall a basin for a fifteen each inches of water. Basins shall be of a size suitable for the individual plant, less than three feet in diameter; and a for a fifteen gallon plant be less than four feet in diameter, a five gallon plant, less than three feet in diameter and a one gallon plant. one gallon plant, less than four feet in diameter, a five gallon plant, less than two feet in diameter. The basins shall be constructed of amended backfill materials

LANDWELL DESIGN 106 F Wood Au former C 1900	
OWNER IM DEVELOPERS	
PROJECT 13906 W VAN NUYS BLVD LOS ANGELES, CA. 91331	
DRAWING TITLE 11. PLANTING SPECIFICATIONS 1.	
DATE 13-800001 8CA3 16"+1-0" DRAVID 8A APPROVED AGB 21-056	

10 OF 11

2019 CALFORNA ELEVATOR SAFETY COM

I PAR OF PET JURIANE LIES WARRING

award nwgs and branches, and to compensate for loss of roots during transplanting, but never to the Landscape Architect, pruning may be done before delivery of plants, but not before plants have

and the ground details and as herein specified. Protective stakes may be planted with the tree, driving them into until 16 inches remains above ground level. Support stakes tall enough to support the particular tree shall be driven. notes remains above ground rever, outpoint places fail enough to support the particular free shall be driven ort stakes shall be at right angles to the most troublesome wind direction. Attach crossiles to the supportive we support stakes shall be an injury of the supportive wind direction. Attach crossiles to the supportive at the shall be place as low on the trunk as possible but high enough so the tree will return to upright after deflection. The shall be place as low orthing union as possible but might enough so the tree will return to upright after deflection trunk in one hand, pull the top to one side, and release. The height at which the trunk will just return to the upright hold the trunk in one name, but are top to one and elected. The neight at which the trunk will just return to the upright which to attach the lies. Ties are to form a loose loop around the tree trunk and auxiliary stake so that the trunk cannot work at which to attach the lies, are all to folial a loose loop around the tree trunk and auxiliary stake so that the trunk cannot we stakes are not to exceed 6 inches above the tie locations. The auxiliary stake shall be attached to those trees needing extra re not to exceed a marke above the top of the wire with friction tape. One tree of each size shall be staked and approved by

or planted in the areas indicated on the plans. Ground cover plants shall be grown in flats, peat pots, or taken as cuttings, as indicated on the anded in the areas indicated on any press. Science over press shall use grown in rists, peat pots, or taken as cuttings, as indicated on the protect outlings) shall remain in those flats until transplanting. The flats soil shall contain sufficient moisture so that it will not fall apart when gamed produced cuttings) shall remain in cross their some variable limits so in shall contain sufficient moisture so that it will not fall apart whe paints from peat pits are used, the pots shall be protected at all times prior to planting to prevent unnecessary drying of the root ball. Unrooted on the parts from pear in a set used, the pois small be protected at all times prior to planting to prevent unnecessary drying of the root ball. Unrooted under the provided sem provides or cuttings which have been trimmed or rooted before planting will not be accepted. Cuttings shall be planted on the provided under the provided of the provided sem provides or cuttings which have been trimmed or rooted before planting will not be accepted. Cuttings shall be planted on time than 2 days after the planted on time than 2 days after the planted on the planted on time than 2 days after the planted on the planted on time than 2 days after the planted on the planted on time than 2 days after the planted on the

and cover shall be planted in straight rows and evenly spaced, unless otherwise noted, and at intervals called out in the drawings. Triangular spacing shall be inless otherwise noted on the plans.

ies otherwise introduction and production of the control of the co Each noded plant shall us plantes, with its appropriate amount or not some or in a pear por, in a manner that will insure minimum disturbance of the root system, out in the shall be immediately sprinkled after planting until the entire area is soaked to the full depth of

wn
Lawn shall be planted by hydroseeding and sodded as indicated on the plans. All areas shall be free from weeds and weed residue.

droseeoung: Hydroseeding shall include application of mulch, fertilizer and seed planting bed preparation, pre and post-planting imgation.

1. After soil preparation, establishment of final grades and weed control, the surface two (2) inches of soil shall be loosened by harrow rototiller and floated level and

impared just prior to prainting.

2. Preparation: The slurry preparation shall take place at the site of work and shall begin by adding water to the tank when the engine is at half throttle. When the water level has reached the height of the agitator shalf, good recirculation shall be established and at this time the seed and chemical additive shall be added to the mixture after the tank is at least one-third filled with water. The engine then the added to fill the speed when the tank is at least one-third filled with water. The engine throttle shall be opened to full speed when the tank is half filled with water. All the wood pulp mulch shall be added by the time the tank is two-thirds to three-fourths full. Fiber 1,500 lbs. per acre

Seed See plans

Gro-Power Plus 1,200 lbs. per acre (if area has been soil prepped, only use 400 lbs. per acre Chemical Additives 3 gallons per acre

Urea Formaldehyde 300 lbs. per acre

3. Application: The operator shall spray the area with a uniform visible coat by using the green color of the wood pulp as a guide. The slurry shall be applied in a sweeping motion, in an arched stream so as to fall like rain allowing the wood fibers material to spread at the required rate per acre.

4. Time Limit. All slurry mixture which has not been applied with in two hours after mixing will be rejected and removed from the project at the contractors expense

5. Irrigation: Immediately after completion of hydroseeding, each area shall be irrigated. Irrigation during the germination period of the seeds shall keep the hydro-mulch

 Impation: Immediately after completion or nydroseeding, each area shall be impared. Impation during the germination period of the seeds shall keep the hydro-much moist at all times without creating run-off, erosion or over-saturation. The impation system is to be in operating condition and have been tested before planting is started. V. ESTABLISHMENT AND MAINTENANCE PERIOD

The contractor shall continuously maintain all areas involved in this contract during the progress of the work and during the establishment period until final acceptance of The contractor shall continuously maintain all areas involved in this contract during the progress of the work and during the establishment period until final acceptance of the work by the Owner. The contractor shall request an inspection to begin the plant establishment period after all planting and related work has been completed in accordance with the Contract Documents. A prime requirement is that I leave areas shall show an even, health and of grass seedings which shall have been moved wince. If such criteria is met to the satisfaction of the Landscape Architect, a field notification will be issued to the contractor to establish the effective beginning or other work, as determined necessary by the Landscape Architect, will not be credited as one of the plant establishment working days. Improper maintenance or other work, as determined necessary by the Landscape Architect, will not be credited as one of the plant establishment working days. Improper maintenance or contractor and the substitution of any planting at the termination of the scheduled establishment period may cause nonement of the final competion of the contractor. on business work, as determined receiving a state of the scheduled establishment period may cause postponement of the final completion date of the contract. possible poor continued or any praining at the contractor until all work is acceptable. In order to carry out the plant establishment work, the contractor shall furnish sufficient men and adequate equipment to perform the work during the plant establishment period. Maintenance shall be according to the following standards:

A. All areas shall be kept free of debris and all planted areas shall be weeded and cultivated at intervals of not more than ten (10) days. Watering, mowing, rolling, edging, trimming, fertilization, spraying and pest control, as may be required, shall be included in the establishment period.

B. The contractor shall be responsible for maintaining adequate protection of the area. Damaged areas shall be repaired at the contractors expense.

C. Between the 15th day and the 20th day of the establishment period, the contractor shall reseed all spots or areas within the lawn where normal turf growth is not evident.

D. Fertilize all planting areas with the following - See soil notes

D. Fertitize all planting areas with the throwing - see sour notes

E. Mowing of furt will commence when the grass has reached a height of two inches. The height of cut will be 1 to 1-1/2 inches. Mowing will be at least weekly after the first

cut. Turf must be well established and free of bare spots and weeds to the satisfaction of the Landscape Architect prior to final acceptance.

The contractors maintenance period will be extended if these provisions are not filled.

G Clean-up:

Clean-up:
The contractor shall keep the premises free from accumulation of waste materials and debris. After all planting operations have been completed, the contractor shall The contractor shall keep the premises free from accumulation of waste materials and geons. Aner all planting operations have been completed, the contractor shall remove all trash, excess soil, empty plant containers, tools, and equipment used in this work and/or any other debris resulting from his work on the site. Any scars, ruts, or mars in the area caused by the landscape work shall be repaired at the contractors expense. The contractor shall leave the site area broom clean and shall wash

GUARANTEE AND REPLACEMENT

GUARANTEE AND REPLACEMENT.

A. All plant material installed under the contract shall be guaranteed against any and all poor, inadequate or inferior materials and for workmanship for a period of one year.

Any plant found to be dead or in poor condition due to faulty materials or workmanship, as determined by the Landscape Architect, shall be replaced by the contractor at his

expense.

B. Any materials found to be dead, or in poor condition during the establishment period shall be replaced immediately. The Landscape Architect shall be the sole judge as to B. Any materials found to be dead, or in poor condition during the establishment period shall be replaced immediately. The Landscape Architect shall be the sole judge the condition of material Material to be replaced within the guarantee period shall be replaced by the contractor within 15 days of written notification by the Owner C. Replacement shall be made in the same manner as required for original plantings. Materials and labor involved in the replacing of material shall be supplied by the

Normal progress inspection shall be requested from the Landscape Architect at least 72 hours in advance of an anticipated inspection. An inspection will be made by the Landscape Architect on each of the steps listed below. The contractor will not be permitted to initiate the succeeding steps of work until he has received written approval to proceed by the Owner.

A. Immediately prior to the commencement of the work on this section
 B. Completion of fine grading.

C. Completion of soil conditioning

D. Prior to application of post-emergent weed killers.
 E. Pre or post-delivery of all plant material.

F. Completion of major plant layout.

G. Prior to hydroseeding or installation of sod.

H Commencement of maintenance.

. Completion of first 30 day maintenance period

 Completion of first 30 day maintenance period
 Final Acceptance of the Project. Prior to the date of the final inspection, the contractor shall acquire from the Final Acceptance of the Project. Prior to the date or the time respection, the contractor shall acquire from the Owner approved mylar prints, and finally record from the job record set all changes made during construction, label said prints As-Bulls, and deliver to the Landscape Architect. Prior to the date of final inspection, the contractor shall deliver to the Landscape Architect the Landscape and Irrigation Guarantee as required.

SOIL NOTES

1 Soil Preparation - add 50 lbs. of Agricultural Gypsum 1,000 sq. ft

2. Backfill shall consist of the following: 7 parts native on site soil, by volume

3 parts natrolized shavings, by volume 16 tha Gro-power Plus per cubic yard of mix

3 parts introlized shavings, by yourne to use -un-power Fusi per suite, yet or max.

3 Hydro-seeding- For already soil prepared areas, apply 280 bs. Gno-power Hi-Mirrogen per acre
For non-prepped soil areas, apply 1,000 bs. Gno-power Plus and 300 bs. Gno-power Controlled release per acre
4 Maintenance - Feed with 20 bs. Gno-power Plus 1,000 sq. ft. on days 45 and 85 of maintenance.

ELHANICAL

The above materials are for bid purposes only. The exact materials will be determined after the grading is completed, along with a soils test by the Landscape Contractor

AGRONOMIC SOIL REPORT

Contractor shall obtain a agronomic soil report prior to start of construction, this report is required for pre-installation meeting along with all it's recomended material being on-site for inspection prior to begining work.

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OWNER IM DEVELOPERS	
PROJECT 13906 W VAN NUYS BLVD LOS ANGELES, CA. 91331	
PROJECT DRAWING TITLE 13906 W VAN NUYS BLVD LOS ANGELES, CA. 91331	
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