

# 13906 W VAN NUYS BLVD. LOS ANGELES, CA. 91331

PROJECT ADDRESS	INDEX	PROJECT DATA	
13906 W VAN NUYS BLVD LOS ANGELES, CA 91331	<b>ARCHITECTURAL</b>	ADDRESS: 13906 W VAN NUYS BLVD. LOS ANGELES, CA. 91331	
<b>PROJECT OWNER</b>		PROJECT SCOPE: (24) UNIT APARTMENT BUILDING WITH GARAGE PARKING ON FIRST FLOOR 4 STORES RESIDENTIAL BUILDING WITH GARAGE PARKING ON FIRST FLOOR	
<b>M DEVELOPERS</b>		LEGAL DESCRIPTION: PORTION OF LOTS 101&102& F103& F104& F105& F106& PORTION AND POR 107 OF TRACT NO. 7134, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 76 PAGES 90 AND 91 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF S.A.D. COUNTY	
<b>DESIGN BY</b>		ASSESSOR PARCEL NO. (APN): 2645-001-026, 2645-001-027	
G.A. ENGINEERING LIC# C61464 6747 ODESSA AVE. SUITE 204 VAN NUYS, CA. 91408 PHONE: (818)758-0018		BUILDING CODE: 2019 CBC AS AMENDED BY CITY OF LOS ANGELES 2020	
<b>STRUCTURAL ENGINEER</b>		EXISTING ZONE: [C]2-1VL-0	
G.A. ENGINEERING LIC# C61464 6747 ODESSA AVE. SUITE 204 VAN NUYS, CA. 91408 PHONE: (818)758-0018		GENERAL PLAN LAND USE: HIGHWAY ORIENTED COMMERCIAL	
<b>SURVEY</b>		COMMUNITY PLAN AREA: ARLETA-PACOMA	
CLS SOLUTIONS INC. 18170 ROBITA ST. TARZANA, CA. 91356 PHONE: (310)280-6439		AREA PLANNING COMMISSION: SOUTH VALLEY	
<b>GEOTECHNICAL ENGINEER</b>		TYPE OF CONSTRUCTION: 1ST FLOOR TYPE "A" GARAGE, FULLY SPRINKLERED THROUGHOUT (NFPA-13) 2ND THRU 4TH FLOORS, TYPE V-A, FULLY SPRINKLER THROUGHOUT (NFPA-13)	
		CROSS LOT AREA: 6,649.6+4,424.7+6,649.6+6,649.6+7,893.7 = 32,267.2 SQ.FT (PER ZIMAS)	
<b>LANDSCAPING</b>	<b>LANDSCAPE</b>	PROPOSED BUILDING HEIGHT: 45 FEET	
		OCCUPANCY GROUP: R-2 / S-2 PARKING	
<b>ELECTRICAL ENGINEER</b>		BUILDING SETBACKS: FRONT YARD - 0 FEET SIDE YARD - 7'-0" REAR YARD - 17'-0" FEET	
		STORIES: 4 STORY	
<b>MECHANICAL &amp; PLUMBING ENGINEER</b>	<b>STRUCTURAL</b>		
	<b>CIVIL</b>		
	<b>ELECTRICAL</b>		
	<b>MECHANICAL</b>		

### AREA SUMMARY (LABC)

STORY	OCC	USE	A	B	C	D	A-B-C	A-B-C-D
			AREA OUTDOOR WALLS SQ.FT.	AREA EXTERIOR WALLS SQ.FT.	AREA VENTILATION SHWT SQ.FT.	AREA STAIRWAYS SQ.FT.	BUILDING AREA (SQ.FT.)	ZONING AREA (SQ.FT.)
FIRST	S-2	PARKING	1-A	7,030			800	800
	R-2	LOBBY	V-A	880		420	8,970	7,880
SECOND	R-2	RESIDENTIAL	V-A	8,320	220		420	8,070
THIRD	R-2	RESIDENTIAL	V-A	8,320	220		420	8,070
FOURTH	R-2	RESIDENTIAL	V-A	8,320	220		420	8,070
TOTAL	S-2						7,300	
ALLOWABLE	R-2						25,080	23,800

### SCHOOL DISTRICT ASSESSABLE

STORY	USE	AREA (SQ.FT.)
FIRST	RECALLLOBBY	800
SECOND	DWELLING UNITS	8,320
THIRD	DWELLING UNITS	8,320
FOURTH	DWELLING UNITS	8,320
TOTAL		25,810

### AREA PER UNIT

UNIT No	DESCRIPTION	AREA (SQ.FT.)	UNIT No	DESCRIPTION	AREA (SQ.FT.)	UNIT No	DESCRIPTION	AREA (SQ.FT.)
202	2-BED/2-BATH	990	301	2-BED/2-BATH	980	401	2-BED/2-BATH	980
203	1-BED/1-BATH	775	302	1-BED/1-BATH	775	402	1-BED/1-BATH	775
204	1-BED/1-BATH	775	303	1-BED/1-BATH	775	403	1-BED/1-BATH	775
205	2-BED/2-BATH	1,050	304	2-BED/2-BATH	1,050	404	2-BED/2-BATH	1,050
206	2-BED/2-BATH	1,150	305	2-BED/2-BATH	1,150	405	2-BED/2-BATH	1,150
207	1BED.DEN/1-BATH	820	306	1BED.DEN/1-BATH	820	406	1BED.DEN/1-BATH	820
208	1BED.DEN/1-BATH	820	307	1BED.DEN/1-BATH	820	407	1BED.DEN/1-BATH	820
208	2-BED/1-BATH	920	308	2-BED/2-BATH	920	408	2-BED/1-BATH	920

SECOND FLOOR = 8 UNITS      THIRD FLOOR = 8 UNITS      THIRD FLOOR = 8 UNITS

**APPLICABLE CODES:**

- 2019 CALIFORNIA BUILDING CODE (CBC) WITH CITY OF L.A. AMENDMENTS 2020
- 2019 CALIFORNIA RESIDENTIAL CODE (CRC) WITH CITY OF L.A. AMENDMENTS
- 2019 CALIFORNIA FIRE CODE (CFC) WITH CITY OF L.A. AMENDMENTS
- 2019 CALIFORNIA GREEN BUILDING CODE (CGBC) WITH CITY OF L.A. AMENDMENTS
- 2019 CALIFORNIA HISTORICAL BUILDING CODE (CHBC) WITH CITY OF L.A. AMENDMENTS
- 2019 CALIFORNIA ENERGY CODE (CEEC) WITH CITY OF L.A. AMENDMENTS
- 2019 CALIFORNIA ELEVATOR SAFETY CODE WITH CITY OF L.A. AMENDMENTS
- 2019 CALIFORNIA REFERENCE STANDARDS CODE WITH CITY OF L.A. AMENDMENTS
- 28 C.F.R. PART 38 (ADA)
- TITLE 24
- TITLE 8 CALIFORNIA STATE CODE FOR ELEVATORS

### PARKING CALCULATION

	# OF UNITS	1.75 TO 2.75 PARKING	TOTAL
1- BDRM	6	1.5	9
1+1DEN	6	1.5	9
2- BDRM	12	2	24
TOTAL	24		42

### PARKING REQUIRED PER TOC (TIER 3)

	# OF UNITS	AUTO PARKING	TOTAL
1- BDRM	6	5	3
1+1DEN	6	5	3
2- BDRM	12	5	6
TOTAL	24		12

### PARKING REDUCTION PER TOC (TIER 3)

REQUIRED PARKING = 24X0.5 = 12 SPACE

PROVIDED	PARKING NO.
STANDARD	16
COMPACT	16
DISABLE PARKING	0
TOTAL AUTO PARKING RESIDENTS	17

(3) SHORT-TERM BICYCLE PARKING  
(24) LONG-TERM BICYCLE PARKING

\*NO GUEST PARKING\*  
2% OF NUMBER OF PARKING = 2017 = 24 - 1 ACCESSIBLE PARKING  
EV PARKING = 30 5017 + 5 EV PARKING  
PARKING TO BE UNBANNED FROM THE RENTAL UNITS

### OPEN SPACE CALCULATION

REQUIRED	HABITABLE ROOMS	QUANTITY	OPEN SPACE
1	2	6	6 X 100 = 600
1+1DEN	3	6	6 X 125 = 750
2	3	12	12 X 125 = 1,500

REQUIRED: 2,850 SQ.FT  
UP TO 25% DECREASE IN REQUIRED OPEN SPACE PER TIER 3  
REQUIRED = 2,850 SQ.FT X 25% = 712.5 SQ.FT.

TOTAL REQUIRED: 2,137.5 SQ.FT

### PROVIDED

AREA DESCRIPTION	OPEN SPACE
RECREATION ROOM	600 SQ.FT
ROOF DECK	735 SQ.FT
BALCONY (24X50)	1,200 SQ.FT
TOTAL PROVIDED	2,535 SQ.FT

### NOTES

- OBTAIN SEPARATE PERMIT FOR THE FOLLOWING ITEMS:  
RETAINING WALLS, GRADING WORK, BLOCK FENCE, FIRE SPRINKLER SYSTEM, ELECTRICAL, MECHANICAL, PLUMBING, EMERGENCY RESPONDER RADIO COVERAGE IN ACCORDANCE WITH NFPA 72" (907.2.9, 907.2.2.3.3, 907.2.3.4)
- THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT WISBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72" (907.2.9, 907.2.2.3.3, 907.2.3.4)
- THIS PROJECT IS 100% PRIVATELY FUNDED. THIS IS NOT HOUSING FACILITIES OWNED AND/OR OPERATED BY, FOR, OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT RECEIVED FROM STATE OR FEDERAL.
- NO GUEST PARKING PROVIDED OR REQUIRED.
- FIRE ALARM TO BE PROVIDED PER CFC 907.2.1 THROUGH 907.2.2.3
- EMERGENCY RESPONDER RADIO COVERAGE PER CFC 510
- FIRE SPRINKLER NOTE:  
THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH (NFPA-13). THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
- PROVIDE TWO-WAY COMMUNICATION AT THE LANDING SERVING EACH ELEVATOR OR BANK OF ELEVATORS ABOVE OR BELOW THE LEVEL OF EXIT DISCHARGE. (CBC 10098.8)

### TOC DATA

TOC TIER AREA QUALIFIED	TIER 3
TOC TIER USED	TIER 3

INCENTIVES REQUESTED:  
**REQUESTED INCENTIVES:**  
BASE INCENTIVE:  
PARKING REDUCTION PER TIER 3  
INCREASE IN NUMBER OF UNITS = 70%  
INCREASE IN FAR = FROM 1.5 TO 3.75 IN COMMERCIAL ZONE

**ADDITIONAL INCENTIVE**  
1. REQUEST FOR TRANSITIONAL HEIGHT PER TIER 3  
2. UP TO A 25% DECREASE IN REQUIRED OPEN SPACE

### DENSITY CALCULATION

LOT AREA (LOT1, LOT2, LOT3, LOT4, LOT5)  
TOTAL LOT AREA = 32,267.2 SQ.FT

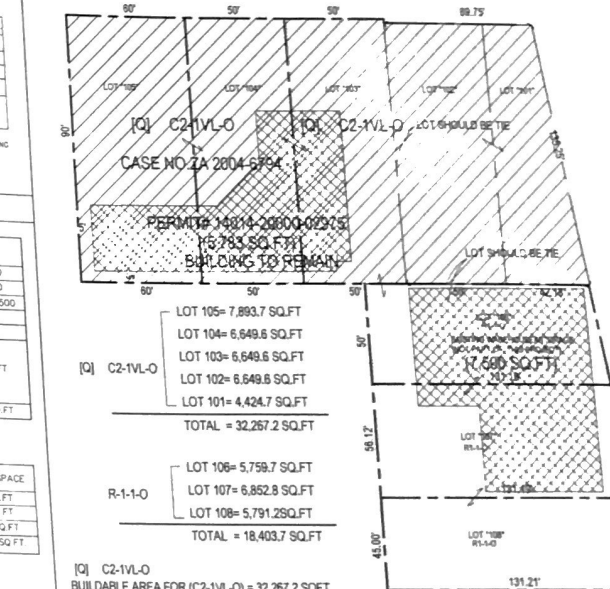
ALLOWABLE UNITS  
DENSITY = 1 UNIT/2000 SQ.FT (PER 'O' CONDITION PERMITTED BY RD2 DENSITY)  
32,267.2/2,000 = 16.1 = 17 UNITS

\* PER TOC (TIER 3)  
DENSITY = 17X.70% = 11.9 = 12 UNITS

ALLOWABLE UNITS PER TOC (TIER 3):  
17+12 = 29 UNIT

\* REQUESTED UNITS = 24 UNITS

ON-SITE RESTRICTED AFFORDABLE UNITS ALLOCATED TO EXTREMELY LOW INCOME (ELI)  
10% X 24 = 2.4 = 3 UNIT



# DIR. - 2021 10765 ENV - 2021 10766



REVISION	BY

OWNER: IM DEVELOPERS

PROJECT: LOS ANGELES, CA. 91331  
13906 W VAN NUYS BLVD.

DRAWING TITLE: COVER SHEET

DATE:	20 December 2021
SCALE:	
DRAWN:	
APPROVED:	
JOB:	21-061
SHEET:	
<b>T.O.</b>	



VICINITY MAP  
NOT TO SCALE

**LEGEND**

- SIGN
- STREET LIGHT
- WATER METER
- FIRE DEPARTMENT CONNECTION
- TRAFFIC SIGNAL VAULT
- POWER PULL BOX
- CATCH BASIN
- WATER VALVE
- WROUGHT IRON FENCE
- CONCRETE WALL
- PROPERTY LINE
- CENTERLINE

**ABBREVIATIONS**

- BC BUILDING CORN.
- BFC BOTTOM FRONT OF CURB
- CW CONCRETE WALL
- CE CONCRETE EDGE
- CONC CONCRETE
- FF FINISH FLOOR
- FNC FENCE
- FS FINISH SURFACE
- GFL GUTTER FLOW LINE
- GD GUARD RAIL
- OG ORIGINAL GROUND
- TFC TOP FRONT OF CURB
- TR TREE
- TBW BACK OF WALK
- SV SPOT ELEVATION

**LEGAL DESCRIPTION:**

PORTION OF LOTS 101 AND 102 OF TRACT NO. 7134, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 78 PAGES 90 AND 91 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. APN: 2845-001-026

**BASIS OF BEARINGS:**

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF VAN NUYS BOULEVARD SHOWN AS N48°30'00"E ON TRACT MAP NO. 7134, RECORDED IN BOOK 75, PAGES 90 AND 91 OF MAPS, RECORDS OF LOS ANGELES COUNTY, SHOWN AS N48°56'23"E ON THIS MAP.

**BENCHMARK:**

BM NO. 03-04680  
WIRE SPK IN SW CURB VENA AVE; 2FT SE OF BC RET SE OF VAN NUYS BLVD  
ELEVATION=942.017 FT. (2000 ADJUSTED, NAVD 1988 DATUM)

**LAND AREA:**

CONTAINING AN AREA OF 11,282.66 SQ.FT. OR 0.259 ACRES MORE OR LESS.

**REFERENCE:**

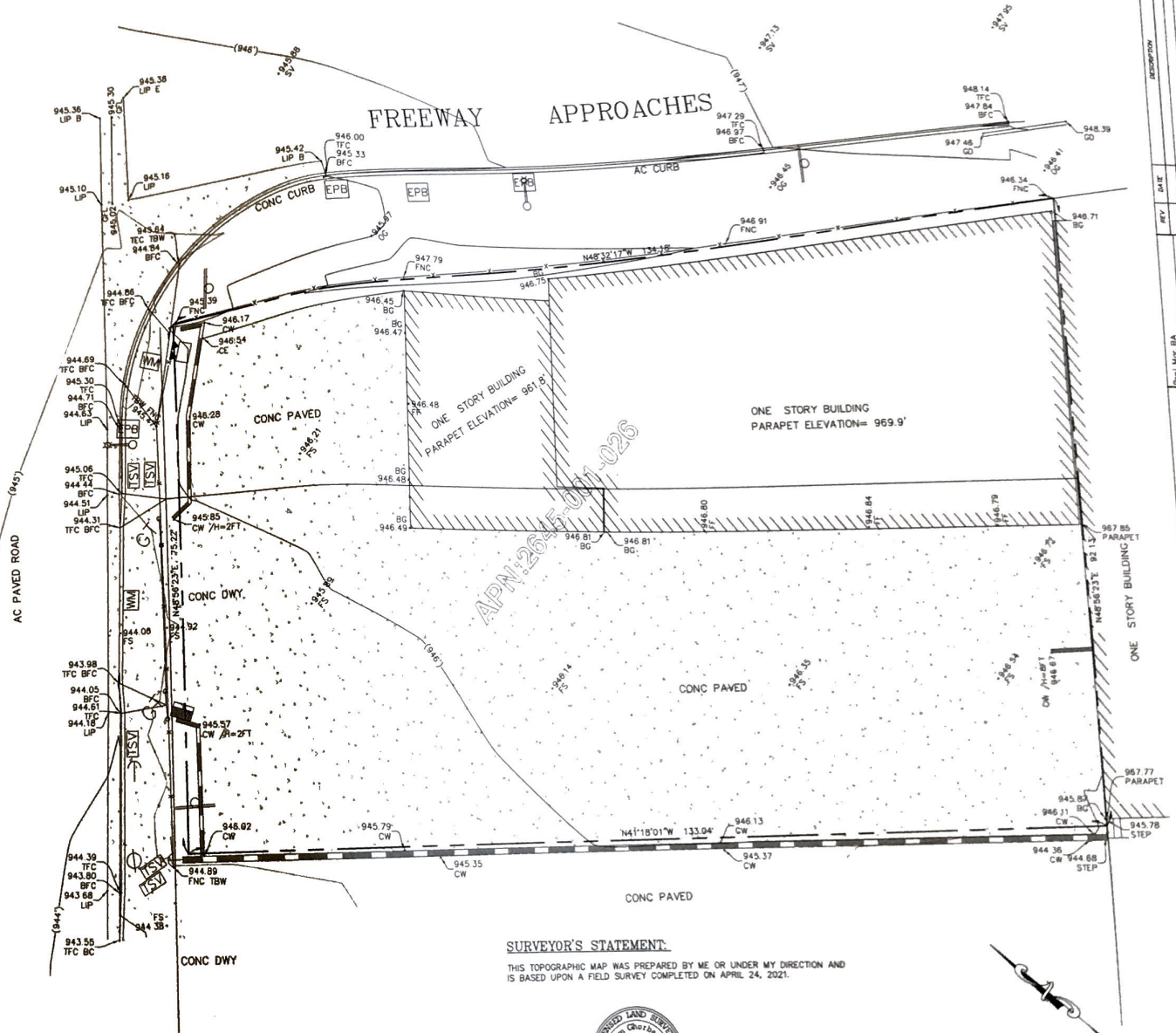
RT - TRACT NO. 7134, M.B. 76-90/91.

**SURVEY NOTE:**

- 1) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. ADDITIONAL DEEDS, EASEMENTS, VACATIONS, TAKINGS AND/OR RESTRICTIONS AFFECTING THE SUBJECT PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF LOS ANGELES COUNTY.
- 2) THIS SURVEY DOES NOT INCLUDE EASEMENTS OF RECORD OR OTHERWISE, UNDERGROUND PUBLIC UTILITIES, OR OTHER SUBSTRUCTURES, OR ZONE EASEMENTS, SETBACK OR STREET WIDENING DATA IF APPLICABLE.
- 3) RELATION OF TOPOGRAPHIC FEATURES (FENCE, WALL, TREES, POWER POLES, ETC.) TO PROPERTY LINES SHOWN ON THIS MAP IS SUBJECT TO THE ADJUSTMENTS TO ANY BOUNDARY SURVEY THAT IS TO BE DONE ON THE PROPERTY.



VAN NUYS BOULEVARD



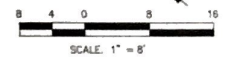
**SURVEYOR'S STATEMENT:**

THIS TOPOGRAPHIC MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY COMPLETED ON APRIL 24, 2021.

DATED: 05/07/2021



BAHRAM GHOBANAZAR PLS 9283  
EXPIRES: 09/30/22



REV	DATE	DESCRIPTION

CLS Solutions Inc  
1875 W. 84th Street  
Torrance, CA 90504  
Phone: (310) 296-2200  
www.clsolutions.com

TOPOGRAPHICAL SURVEY  
13906 VAN NUYS BLVD, LOS ANGELES, CA. 91331  
GA ENGINEERING, Inc.



**REQUIRED FIRE RESISTANCE:** (CBC 2016, TABLE 601)

TYPE I-A:	HOURS:
PRIMARY STRUCTURE FRAME	3
BEARING WALLS	3
EXTERIOR	3
INTERIOR	
NON BEARING	(CBC TABLE 602-LISTED BELOW)
EXTERIOR	0
INTERIOR	(NOT APPLICABLE)
FLOOR CONSTRUCTION	
ROOF CONSTRUCTION	PODIUM FIRE RESISTANCE OF 3 HR REQUIRED.

TYPE V-A:	HOURS:
PRIMARY STRUCTURE FRAME	1
BEARING WALLS	1
EXTERIOR	1
INTERIOR	
NON BEARING WALLS AND PARTITIONS EXTERIOR (SEE TABLE BELOW)	
FLOOR CONSTRUCTION	1
ROOF CONSTRUCTION	1
NON BEARING WALLS AND PARTITIONS INTERIOR 1 HR	
FLOOR CONSTRUCTION	1
ROOF CONSTRUCTION	1

**FIRE RESISTANCE REQUIREMENTS FOR EXTERIOR WALLS** (CBC 2016, TABLE 602)  
THE FIRE RESISTANCE RATING OF EXTERIOR WALLS SHALL COMPLY WITH THE PROVISIONS OF CBC 705.5.

REQUIRED:	DISTANCE	RATING
	0-5	1
	5-10	1
	10-30	1
	30-50	0

PROVIDED: (REFER TO DIAGRAMS ON T1.01)  
SHAFTS ENCLOSURES: (CBC 713.4)  
SHAFT WALL SHALL BE CONSTRUCTED AS FIRE BARRIERS.  
2 HRS WHEN CONNECTING 4 OR MORE STORIES, (STAIRS, TRASH CHUTE, AND ELEVATOR)  
1 HR WHEN CONNECTING LESS THAN 4 STORIES. (OTHER SHAFTS)  
TRASH CHUTES: (CBC 713.13.3)  
1 HOUR FIRE BARRIER CONSTRUCTION AT ACCESS ROOM AND PROTECTED BY 3/4 HOUR SELF CLOSING DOOR. SHAFT SHALL BE SPRINKLERED PER (CBC 903.2.11.2)  
DWELLING UNIT SEPARATION  
CBC 419  
1 HR FIRE PARTITIONS ARE REQUIRED BETWEEN DWELLING UNITS (R-2) W/ STC 50  
1 HR FIRE PARTITIONS TO SEPERATE DWELLING UNIT AND CORRIDOR W/ STC 50  
ELECTRICAL ROOM  
REQUIRED: 1 HR FIRE BARRIER WITH 45 MIN. DOOR  
PROVIDE: 1 HR FIRE BARRIER WITH 45 MIN. DOOR

**COMMON PATH OF EGRESS TRAVEL**  
CBC TABLE 1014.3 = 125 FT MAX IN SPRINKLERED BUILDING  
LENGTH OF TRAVEL DISTANCE ACTUAL = 85'-0" + 125 FT (LONGEST DISTANCE NOTED)

**MINIMUM CORRIDOR WIDTH**  
CBC TABLE 1002.2 = 44 INCHES AND 36 INCHES WITHIN DWELLING UNITS  
ACTUAL = 60 INCHES AND 36 INCHES MIN. WITHIN DWELLING UNITS

**DEAD END CORRIDOR**  
CBC 1020.4 EXCEPTION 2 = 50 FT MAX IN SPRINKLERED BUILDING  
LENGTH OF DEAD END CORRIDOR ACTUAL = 0' < 50 FT

**EGRESS WINDOWS (RESIDENTIAL):** CBC 1028.2.1  
MINIMUM HEIGHT: 24 INCHES  
MINIMUM WIDTH: 20 INCHES  
MINIMUM SIZE: 5.7 SQ.FT.  
MAXIMUM SILL HT.: 44 INCHES ABOVE THE FLOOR.  
REFER TO WINDOW SCHEDULE, SHEET A5.0, FOR PROPOSED EGRESS WINDOW SIZES.

**NATURAL VENTILATION:**  
HABITABLE SPACES AND BATHROOMS

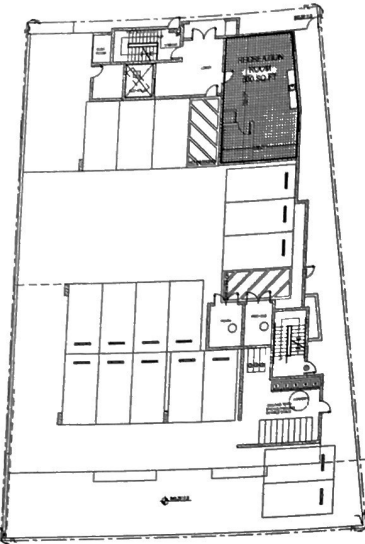
REQUIRED: 4% OF FLOOR AREA

**BATHROOMS** VENTILATION PROVIDED BY MECHANICAL VENTILATION WITH A MINIMUM CAPACITY OF 50 CFM.

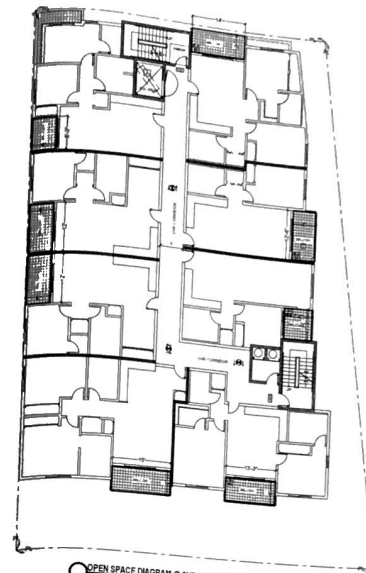
**NATURAL LIGHT:**  
HABITABLE SPACES AND BATHROOMS

REQUIRED: 8% OF FLOOR AREA  
PROVIDED: (REFER TO ENLARGED UNIT PLANS)

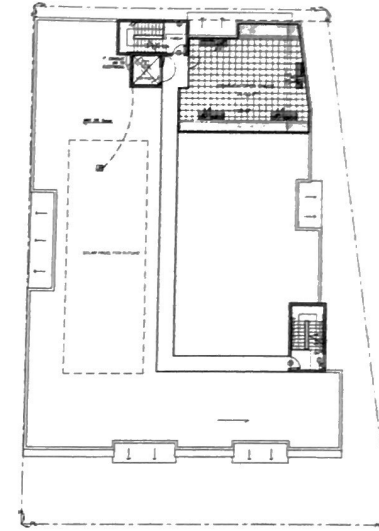
**OPEN SPACE DIAGRAM**



OPEN SPACE DIAGRAM @ 1ST FLOOR PLAN  
RECREATION ROOM - 889 SQ.FT.

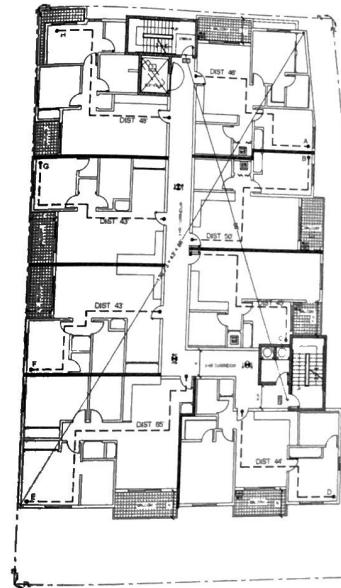
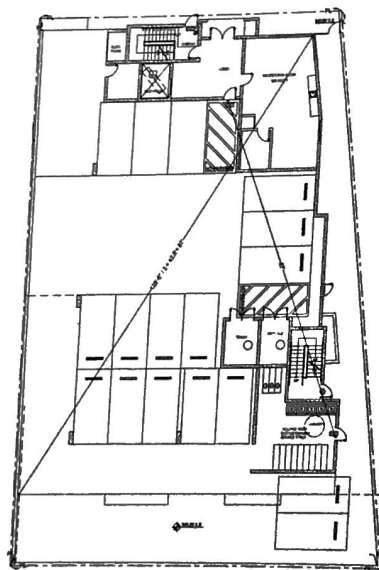


OPEN SPACE DIAGRAM @ 2ND, 3RD, 4TH FLOOR PLAN  
2ND FLOOR BALCONY (805)  
3RD FLOOR BALCONY (805)  
4TH FLOOR BALCONY (805)

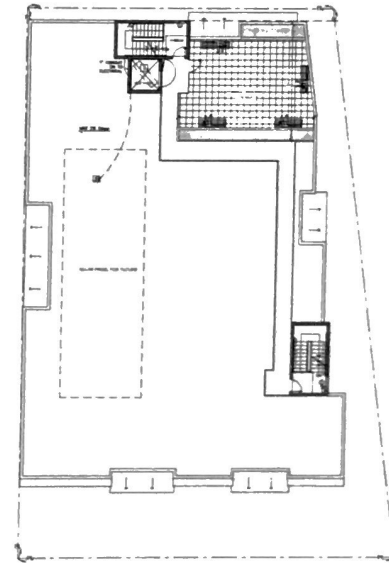


OPEN SPACE DIAGRAM @ ROOF PLAN  
ROOF DECK - 785 SQ.FT.

**EXIT & COMMON OATH DIAGRAM**



2nd FLOOR EXIT DIAGONAL & COMMON PATH DIAGRAM  
COMMON PATH OF TRAVEL <30F  
PATH A = 40' PATH E = 50'  
PATH B = 50' PATH F = 40'  
PATH C = 40' PATH G = 40'  
PATH D = 40' PATH H = 40'



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2917 Center Ave. Suite 104  
Van Nuys, CA 91411  
PHONE: (818) 708-0219  
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REVISION	BY

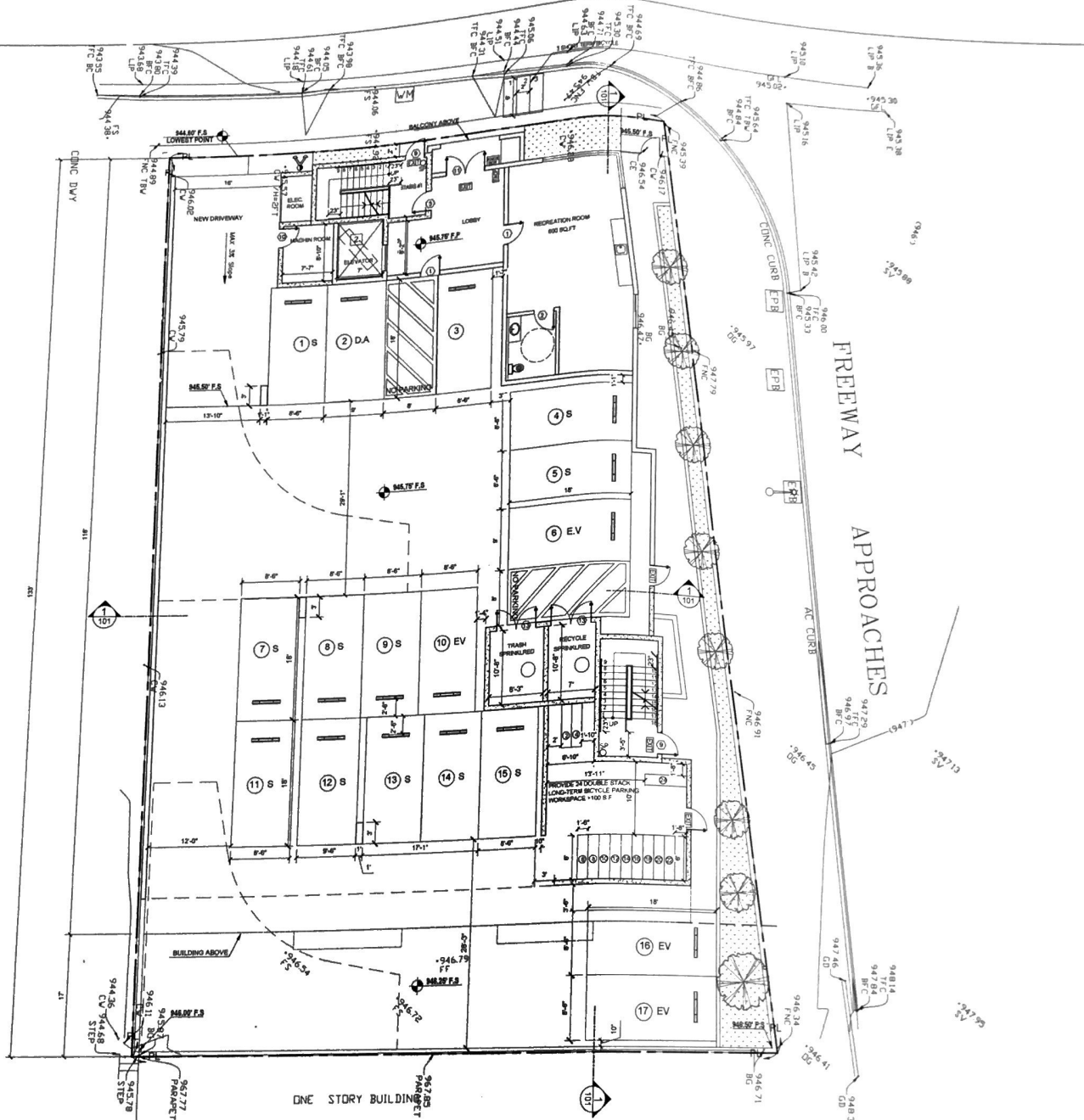
OWNER  
**IM DEVELOPERS**

PROJECT  
**13906 W VAN NUYS BLVD  
LOS ANGELES, CA. 9331**

DRAWING TITLE  
**OPEN SPACE  
EXIT & COMMON OATH  
DIAGRAM**

DATE: 20 December 2021  
SCALE: 1/16" = 1'-0"  
DESIGN:  
APPROVED:  
JOB: 20-950  
SHEET:

**A1.1**  
OF SHEETS



**1ST FLOOR PLAN**  
SCALE: 1/8"=1'-0"

LEGEND	
C1	3 HR RC PER CBC 721.2) ITEM 4-1.1
C2	3 HR RC PER CBC 721.2) ITEM 3
W1	1 HR 1 1/2" R WALL
W2	1 HR CORRUGATED WALL STC-50
W5	INTERIOR WALL
W6	PLUMBING WALL
W9	1 HR 2 PARALLEL WALL STC-50
W15	2HR SHAF. INTERIOR
W16	2HR (EXTERIOR)

→	PATH OF EGRESS
- - -	DISABLED PATH OF TRAVEL
E	EXIT SIGN
S	STANDARD PARKING
C	COMPACT PARKING
D	DISABLED PARKING
DA	BALCONY W/ CROSSFIELD PRODUCTS CORP DEX-O-TEX COATINGS (TC802600) OR EQUAL ICC-ES E-1737 TYPE
7	2A10BC FIRE EXTINGUISHER W/ SEMI-RECESSED CABINET INSTALL MAX. 48" AFF TO THE MASTERY BACK-UP
8	HARD WIRED SMOKE DETECTOR W/ CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
9	MECHANICAL VENT 7 1/2 AIR CHANGE PER HOUR DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT
10	GROUND-FAULT CIRCUIT-INTERUPTER
11	4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH WITH ELBOWS FROM DRYER
12	WATER CURTAIN
13	WATER HEATER
14	STAND PIPE - MIN CLASS I
15	F.D.C.
16	MODEL 4400R STANDARD RECESSED KEY BOX FOR LOW-RISE BUILDING
EV	E.V. CAPABLE ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE. REFER TO SHEET 18-108

\* THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SMALL TAKE COUBLY CHARGE ALL DESIGNED EV SPACES AT FULL RATED AMPERAGE BASED ON LEVEL 2 EVSE. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.

\* A LABEL "EV CAPABLE" SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND EV CHARGING SPACE (4.108.4.2)

**NOTE**

- ALL FIRE PARTITION WALLS (LAB 709) SHALL BE 1 HOUR RATED STC50
- ALL FIRE BARRIERS (707.3.1) IN SHAFTS AS ELEVATOR, STAIRS, ETC.
- FIRE PARTITION CORRIDORS SHALL BE 1 HOUR RATED
- ALL BEARING WALLS SHALL BE 1 HOUR RATED
- THE FLOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR RATED STC50.
- WATER CURTAIN INSTALLATION SHALL BE AS PER BUILDING & SAFETY BACK-UP W/ 1/2" MIN. DRAFT STOP SHALL BE PROVIDED.
- ELEVATOR LOBBY DOOR PROVIDED PER UL 1784 3008.3.3 FROM 2017. LABC
- PROVIDE SMOKE DRAFT TO BE ASSEMBLED IN EACH FLOOR TO AVOID SMOKE FROM ELEVATOR TO LOBBIES
- MECHANICAL VENTILATION WILL BE PROVIDED.
- OPEN SPACE AREAS TO PROVIDE BARBECUE, BENCHES, SEATING, TABLES, AND PLANTERS.
- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21AS. CHART No.5.
- ALL LIGHTS USED TO ILLUMINATE A PARKING AREA SHALL BE DESIGNED LOCATED AND ARRANGED SO AS TO REFLECT THE LIGHT AWAY FROM ANY STREET AND ANY ADJACENT PREMISES.
- RECYCLING ROOMS SHALL COMPLY WITH SECTION 91.8102 OF THIS CODE AND MUST BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM PURSUANT TO SECTION 57.21.04.03 OF THIS CODE.



REVISION

NO.	DATE	DESCRIPTION

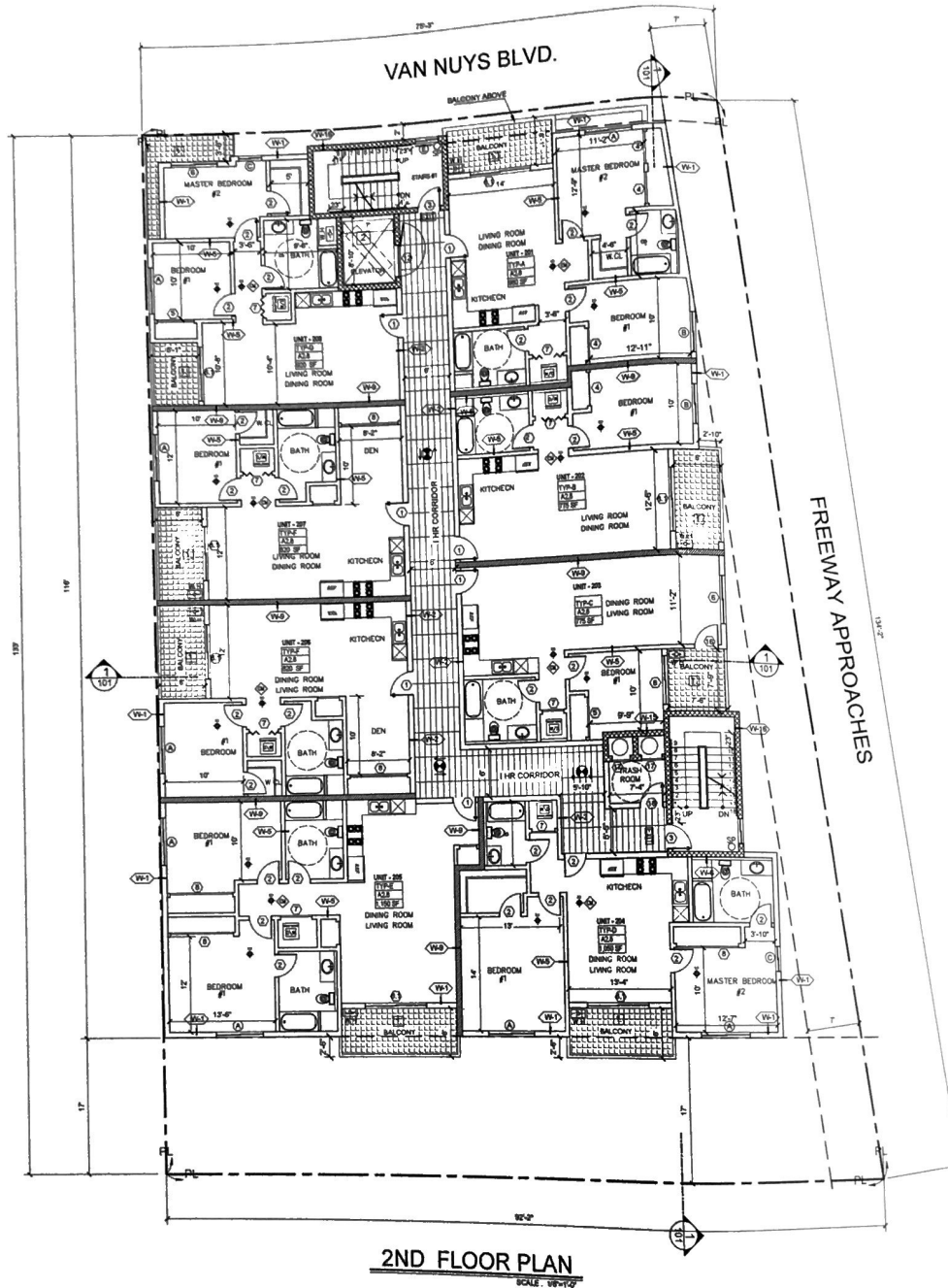
OWNER  
**IM DEVELOPERS**

PROJECT  
**13906 W VAN NUYS BLVD  
LOS ANGELES, CA. 9331**

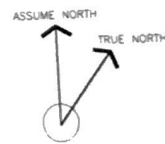
DRAWING TITLE  
**1ST FLOOR PLAN**

DATE: 20 December 2021  
SCALE: 1/8"=1'-0"  
DRAWN:  
APPROVED:  
JOB: 21-081  
SHEET:

**A2.0**  
OF SHEETS



**2ND FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**LEGEND**

C1	3 HR REQ. PER CBC 721(2) ITEM 4-1.1 CONCRETE WALL, SEE SPEC
C2	3 HR REQ. PER CBC 721(2) ITEM 3 MASONRY WALL, SEE SPEC
W1	1 HR EXTERIOR WALL
W2	1 HR CORRUGOR WALL STC-50
W3	INTERIOR WALL
W4	PLUMBING WALL
W5	1 HR SEPARATION WALL STC-50
W15	2HR SHAFT (INTERIOR)
W16	2HR (EXTERIOR)

- PATH OF EGRESS
  - → → DISABLE PATH OF TRAVEL
  - ⊗ EXIT SIGN
  - S STANDARD PARKING
  - C COMPACT PARKING
  - DA DISABLE PARKING
  - 1 BALCONY W/ CROSSFIELD PRODUCTS CORP. DEX-O-TEX COATING (1CB02030) OR EQUAL, ICC-ESR-1757 TYPE
  - F 2A100C FIRE EXTINGUISHER W/ BEMS-RECESSED CABINET, INSTALL MAX. 48" AFF. TO THE BATTERY BACK-UP
  - SD HARD WIRED SMOKE DETECTOR W/
  - ◇ CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
  - ⊗ MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT
  - ⊕ GROUND-FALLT CIRCUIT-INTERUPTER
  - ⊗ 4" MIN. METAL DRYER VENT DIRECTLY TO OUTSIDE, MAXIMUM 14' LENGTH WITH 90° ELBOWS FROM DRYER
  - ⊗ WATER CURTAIN
  - ⊗ WATER HEATER
  - ⊗ STAND PIPE - MIN CLASS I
  - ⊗ F.D.C.
  - ⊗ MODEL 4400R STANDARD RECESSED KEY BOX FOR LOW-RISE BUILDING
  - EV EV CAPABLE ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE. REFER TO SHEET N-100B
- \* THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNED EV SPACES AT FULL RATED AMPERAGE BASED ON LEVEL 2 EVSE. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- \* A LABEL, EV CAPABLE SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND EV CHARGING SPACE (4-109.4.2)

**NOTE**

- ALL FIRE PARTITION WALLS (LABC 708) SHALL BE 1 HOUR RATED STC50
- ALL FIRE BARRIERS 707 3.1) IN SHAFTS AS ELEVATOR, STAIRS, ETC.
- FIRE PARTITION CORRIDORS SHALL BE 1 HOUR RATED
- ALL BEARING WALLS SHALL BE 1 HOUR RATED
- THE FLOORING ASSEMBLIES SHALL BE 1 HOUR RATED STC50. WATER CURTAIN INSTALLATION SHALL BE AS PER BUILDING & SAFETY MACH. PLAN 10' NON-COMBUSTIBLE DRAFT STOP SHALL BE PROVIDED.
- ELEVATOR LOBBY DOOR PROVIDED PER UL 1784 3006.3.3 FROM 2017 LABC. PROVIDE SMOKE DRAFT TO BE ASSEMBLED IN EACH FLOOR TO AVOID SMOKE FROM ELEVATOR TO LOBBIES.
- MECHANICAL VENTILATION WILL BE PROVIDED.
- OPEN SPACE AREAS TO PROVIDE BARBECUE, BENCHES, SEATING, TABLES, AND PLANTERS.
- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21AS, CHART No.5.



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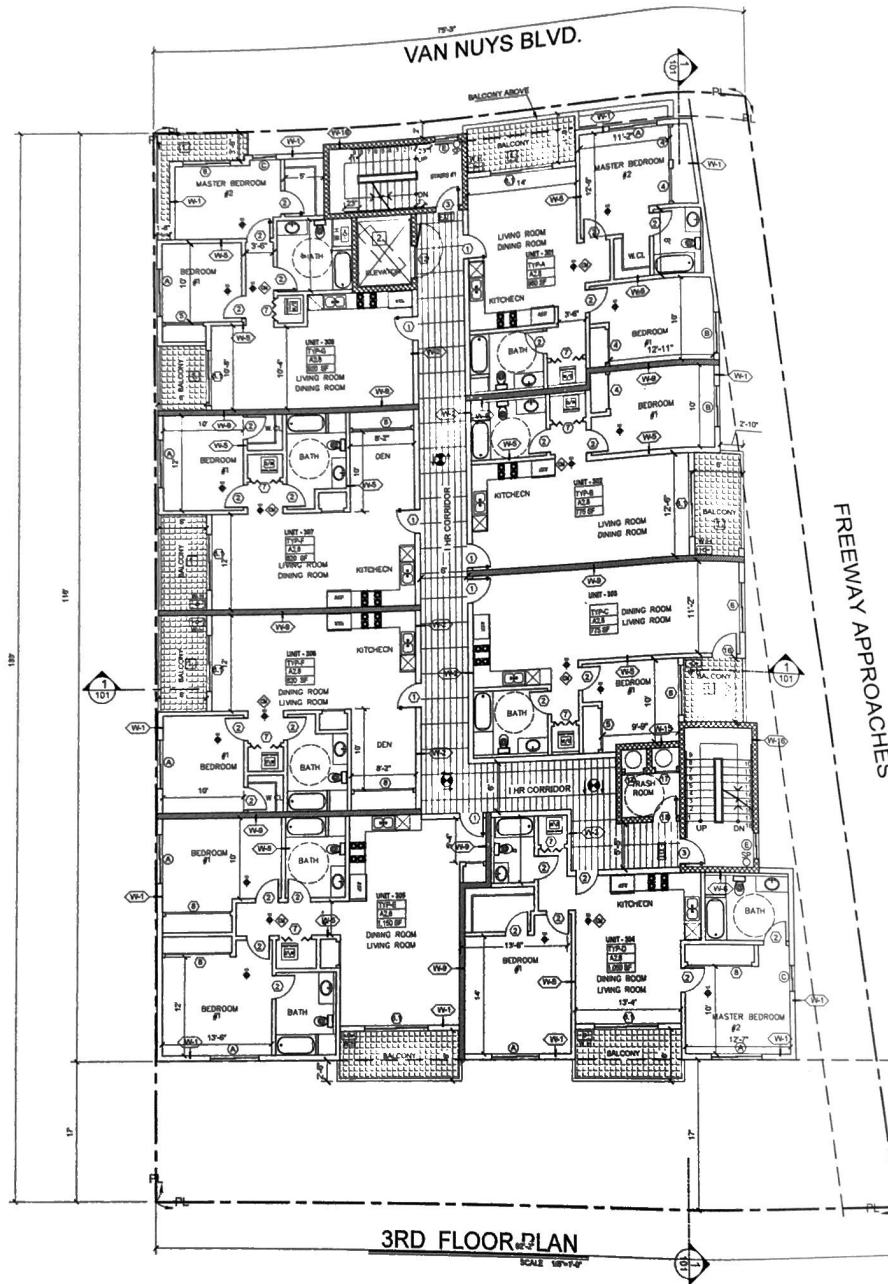
REVISION	BY

OWNER  
**IM DEVELOPERS**

PROJECT  
**13806 W VAN NUYS BLVD  
LOS ANGELES, CA. 90331**

DRAWING TITLE  
**2ND FLOOR PLAN**

DATE	20 December 2021
SCALE	1/8"=1'-0"
DRAWN	
APPROVED	
JOB	20-990
SHEET	<b>A2.1</b>
OF SHEETS	



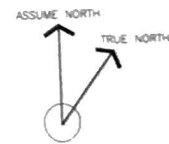
**LEGEND**

C1	3 HR. REQ. PER CBC 721 (2) ITEM 4-1.1 DRYHOLE WALL SEE SPEC
C2	3 HR. REQ. PER CBC 721 (2) ITEM 3 DRYHOLE WALL SEE SPEC
W1	1 HR. EXTERIOR WALL
W2	1 HR. GYPHOBOR WALL STC-50
W3	INTERIOR WALL
W4	PLUMBING WALL
W9	1 HR. SEPARATION WALL STC-50
W15	2HR SEPARATION WALL (INTERIOR)
W16	2HR (EXTERIOR)

- → → PATH OF EGRESS
- → → DISABLE PATH OF TRAVEL
- ⊗ EXIT SIGN
- S STANDARD PARKING
- C COMPACT PARKING
- DA DISABLE PARKING
- 1 BALCONY W/ CROSSFIELD PRODUCTS CORP  
DEX-O-TEX COATING (1CBO#2360) OR EQUAL,  
ICC-ESR-1757 TYPE
- F 2A10BC FIRE EXTINGUISHER  
W/ SEMI-RECESSED CABINET  
INSTALL MAX. 48" AFF. TO THE HOSTERY BACKUP
- SD HARD WIRED SMOKE DETECTOR W/
- ◇ CARBON MONOXIDE & HARD WIRED SMOKE  
DETECTOR W/ BATTERY BACK-UP
- ⊗ MECHANICAL VENT. 7 1/2 AIR CHANGE PER HOUR,  
DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/  
HUMIDISTAT
- ⊖ GROUND-FAULT CIRCUIT-INTERUPTER
- ⊗ 4" MIN. METAL DRYER VENT. DIRECTLY TO OUTSIDE  
MAXIMUM 14' LENGTH W/ TWO ELBOWS FROM DRYER
- ⊗ WATER CURTAIN
- ⊗ WATER HEATER
- ⊗ STAND PIPE - MIN CLASS I
- F.D.C.
- ⊗ MODEL 400R STANDARD RECESSED KEY BOX  
FOR LOW-RISE BUILDING
- EV EV CAPABLE  
ELECTRICAL VEHICLE SUPPLY WIRING FOR  
FUTURE. REFER TO SHEET N-1(G)(B)
- \* THE ELECTRICAL SYSTEM SHALL HAVE  
SUFFICIENT CAPACITY TO SIMULTANEOUSLY  
CHARGE ALL DESIGNED EV SPACES AT FULL  
RATED AMPERAGE BASED ON LEVEL 2  
EVSE. A SEPARATE ELECTRICAL PERMIT IS  
REQUIRED.
- \* A LABEL "EV CAPABLE" SHALL BE POSTED IN A  
CONSPICUOUS PLACE AT THE SERVICE PANEL OR  
SUBPANEL AND EV CHARGING SPACE (4.109.4.2)
- 2 ELEVATOR CAR TO ACCOMMODATE AMBULANCE  
STRETCHER PER SECTION 3002.4. 24" X 84" WITH  
NOT LESS THAN 5-INCH RADIUS CORNER MIN CAB  
DIMENSION 87X54" W/ 42" CLEAR OPENING

**NOTE**

1. ALL FIRE PARTITION WALLS (LABC 708) SHALL BE 1 HOUR RATED STC50
2. ALL FIRE BARRIERS 75F.3.1) IN SHAFTS AS ELEVATOR, STAIRS, ETC.
3. FIRE PARTITION CORRIDORS SHALL BE 1 HOUR RATED
4. ALL BEARING WALLS SHALL BE 1 HOUR RATED
5. THE FLOOR/CILING ASSEMBLIES SHALL BE 1 HOUR RATED STC50  
WATER CURTAIN INSTALLATION SHALL BE AS PER BUILDING SAFETY  
MACH. PLAN 18" NON-COMBUSTIBLE DRAFT STOP SHALL BE PROVIDED.
6. ELEVATOR LOBBY DOOR PROVIDED PER UL 1784  
3006.3.3 FROM 2017 LABC  
"PULL" SMOKE DRAFT TO BE ASSEMBLED IN EACH FLOOR TO  
AVOID SMOKE FROM ELEVATOR TO LOBBIES
7. MECHANICAL VENTILATION WILL BE PROVIDED.
8. OPEN SPACE AREAS TO PROVIDE BARBECUE, BENCHES,  
SEATING TABLES AND PLANTERS
9. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE  
SECTION 12.21A5. CHART No.5



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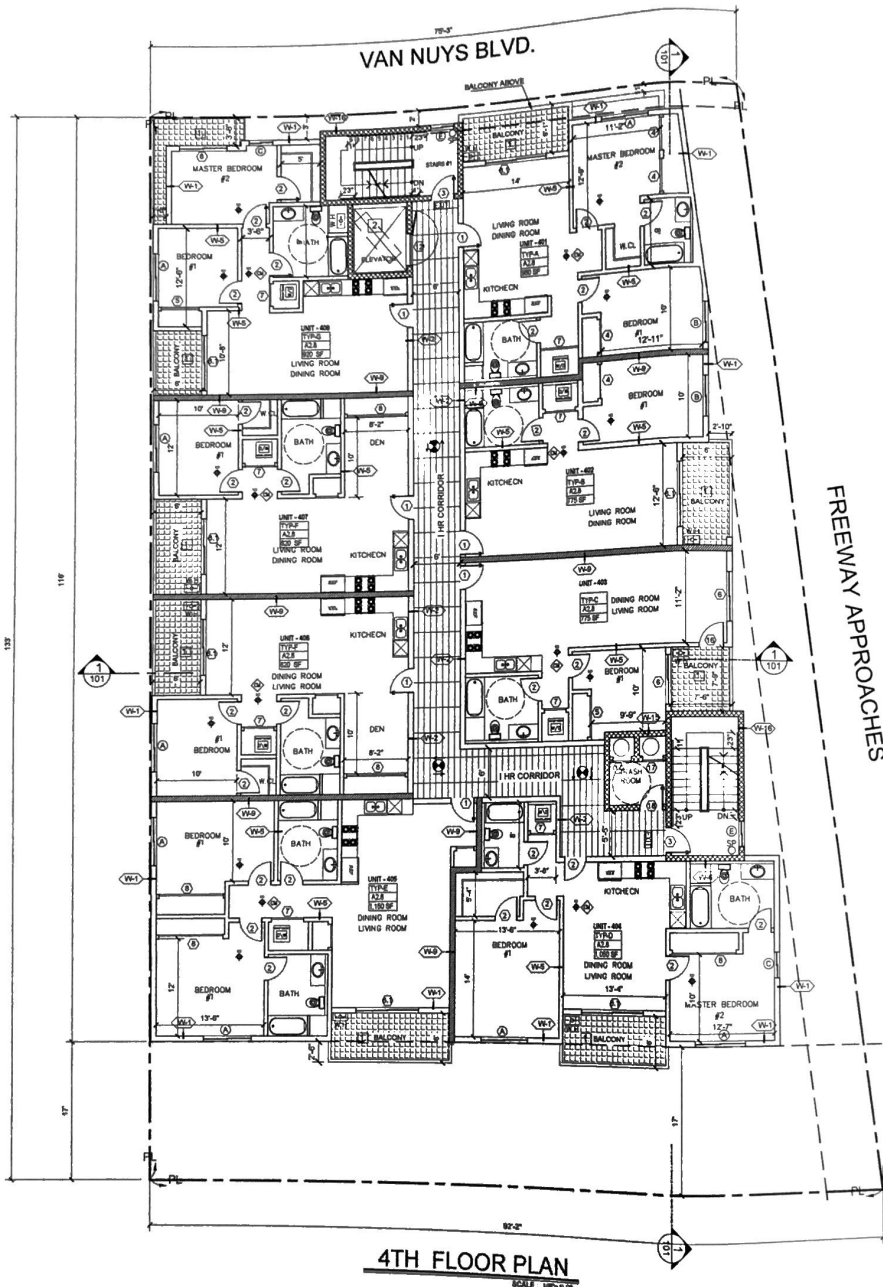
REVISION	BY

OWNER  
**IM DEVELOPERS**

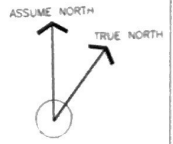
PROJECT  
**13906 W VAN NUYS BLVD  
LOS ANGELES, CA. 9331**

DRAWING TITLE  
**3RD FLOOR PLAN**

DATE: 20 December 2021  
 SCALE: 1/8"=1'-0"  
 SHEETS:  
 APPROVED:  
 JOB: 20-050  
 SHEET:  
**A2.2**  
 3/ 14/17



**4TH FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**LEGEND**

- C1 3 HR REQ. PER CBC 721 (2) ITEM 4-1.1  
CONCRETE WALL SEE SPEC
- C2 3 HR REQ. PER CBC 721 (2) ITEM 3  
MASONRY WALL SEE SPEC
- W1 1 HR EXTERIOR WALL
- W2 1HR CORRIDOR WALL STC-50
- W5 INTERIOR WALL
- W6 PLUMBING WALL
- W9 1 HR SEPARATION WALL STC-50
- W15 2HR SHAFT (INTERIOR)
- W16 2HR. (EXTERIOR)

SEE SHEET  
D-1

- → → PATH OF EGRESS
- → → DISABLE PATH OF TRAVEL
- ⊗ EXIT SIGN
- S STANDARD PARKING
- C COMPACT PARKING
- DA DISABLE PARKING
- 1. BALCONY W/ CROSSFIELD PRODUCTS CORP. DEK-O-TEX COATING (1C2B2236) OR EQUAL, ICC-ESR-1757 TYPE
- F 2A10BC FIRE EXTINGUISHER W/ SEMI-RECESSED CABINET INSTALL MAX. 48" AFF. TO THE BATTERY BACK-UP
- SD HARD WIRED SMOKE DETECTOR W/
- ◇ CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- ⊗ MECHANICAL VENT. 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT
- ⊕ GROUND-FAULT CIRCUIT-INTERUPTER
- ⊗ 4" MIN. METAL DRYER VENT. DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- ⊗ WATER CURTAIN
- ⊕ WATER HEATER
- ⊕ STAND PIPE - MIN CLASS I
- F.D.C.
- KNX BOX MODEL 4400R STANDARD RECESSED KEY BOX FOR LOW-RISE BUILDING
- EV EV CAPABLE ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE. REFER TO SHEET N-1(GB)
- \* THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNED EV SPACES AT FULL RATED AMPERAGE BASED ON LEVEL 2 EVSE. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- \* A LEVEL "EV CAPABLE" SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND EV CHARGING SPACE (4.106.4.2)
- 2. ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER PER SECTION 3002.4, 24" X 84" WITH NOT LESS THAN 5-INCH RADIUS CORNER, MIN CAB DIMENSION 80"X54" W 42" CLEAR OPENING

**NOTE**

1. ALL FIRE PARTITION WALLS (LABC 708) SHALL BE 1 HOUR RATED STC50
2. ALL FIRE BARRIERS 707.3.1 IN SHAFTS AS ELEVATOR, STAIRS, ETC.
3. FIRE PARTITION CORRIDORS SHALL BE 1 HOUR RATED
4. ALL BEARING WALLS SHALL BE 1 HOUR RATED
5. THE FLOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR RATED STC50. WATER CURTAIN INSTALLATION SHALL BE AS PER BUILDING & SAFETY MACH. PLAN 18" NON-COMBUSTIBLE DRAFT STOP SHALL BE PROVIDED
6. ELEVATOR LOBBY DOOR PROVIDED PER UL 1784 3008.3.3 FROM 2017 LABC. PROVIDE SMOKE DRAFT TO BE ASSEMBLED IN EACH FLOOR TO AVOID SMOKE FROM ELEVATOR TO LOBBIES
7. MECHANICAL VENTILATION WILL BE PROVIDED.
8. OPEN SPACE AREAS TO PROVIDE BARBEGUE, BENCHES, SEATING, TABLES AND PLANTERS.
9. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21AS, CHART No 5.



REVISION	BY

OWNER  
**IM DEVELOPERS**

PROJECT  
**13906 W VAN NUYS BLVD  
LOS ANGELES, CA. 9331**

DRAWING TITLE  
**4TH FLOOR PLAN**

DATE: 20 December 2021  
SCALE: 1/8"=1'-0"  
DRAWN:  
APPROVED:  
JOB: 05-490  
SHEET:  
**A2.3**  
OF SHEETS

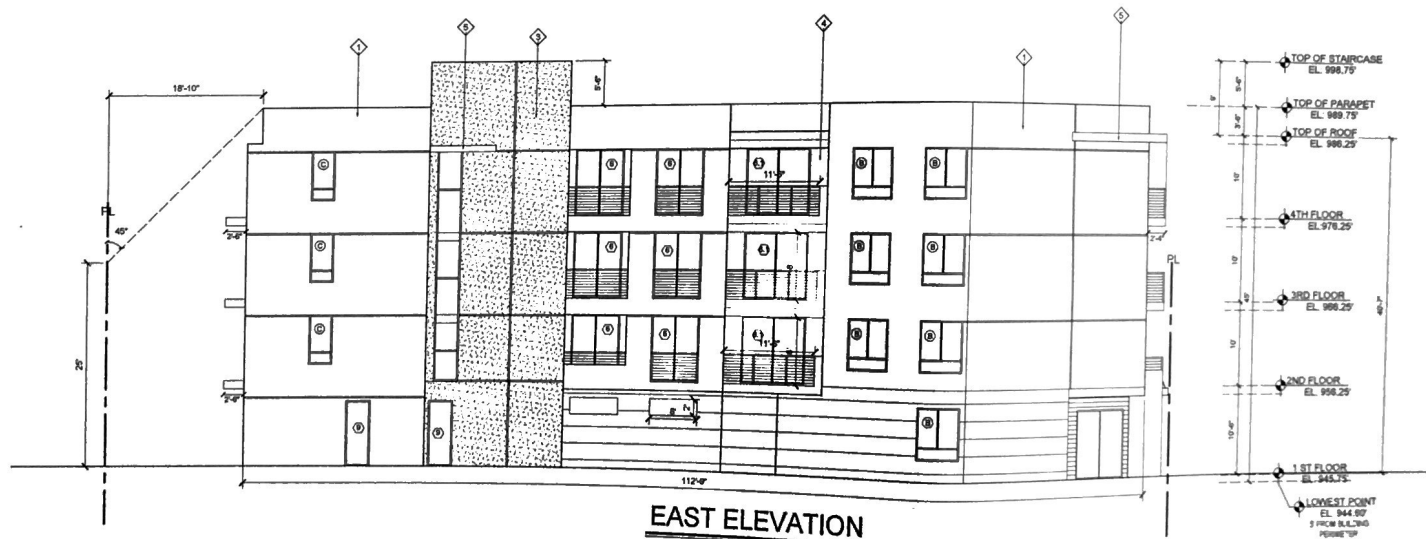








**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

FLOOR	DOOR 3'W X 8'H	OPENING 6'W X 2'H	OPENING 11'-6"W X 8'H	OPENING 7'-9"W X 8'H	DOOR 6'W X 8'H	WINDOW @ 3'W X 6'H	WINDOW @ 5'W X 6'H	TOTAL PROVIDED OPENING	WALL AREA	ALLOWABLE OPENING
	SQ.FT.	SQ.FT.	SQ.FT.	SQ.FT.	SQ.FT.	SQ.FT.	SQ.FT.	SQ.FT.	SQ.FT.	25% SQ.FT.
1	24X2=48	12X2=24	-	-	48X1=48	-	30X1=30	150	1183	295
2	-	-	92X1=92	62X1=62	48X1=48	18X1=18	30X2=60	280	1129	282
3	-	-	92X1=92	62X1=62	48X1=48	18X1=18	30X2=60	280	1129	282
4	-	-	92X1=92	62X1=62	48X1=48	18X1=18	30X2=60	280	1129	282

**EAST ELEVATION**  
FIRE SEPARATION DISTANCE = 7 FEET  
ALLOWABLE PROTECTED OPENING= 25%  
ALLOWABLE UN-PROTECTED OPENING=25%  
PER SECTION 705.8.

**LEGEND**

- PROPERTY LINE (P.L.)
- NOTES
1. 7/8" STUCCO OVER PAPER BACK MESH. PROVIDE 3-LAYERS OF GRADE 'D' PAPER OVER PLUMB.
  2. RECESSED ALL DOORS AND WINDOWS NO LESS THAN 1".
  3. EXTERIOR LIGHTING TO BE SHIELDED.
  4. WINDOWS AND BALCONY DOORS TO BE VINYL MATERIAL GRAY COLOR.
- \* ALL DOWNSPOUTS MUST DIRECT TO STORMWATER PLANTERS PER CIVIL PLANS.

**ELEVATION SYMBOLS**

- PROPERTY LINE (P.L.)
- ◇ PLASTER FINISH STUCCO (SAGEWELL COLOR)
  - ◇ STUCCO REVEALS
  - ◇ PLASTER FINISH STUCCO (DARK GRAY COLOR)
  - ◇ WOOD SILING MANUFACTURE CHEMIC. (GR-158)
  - ◇ STUCCO FINISH (LIGHT GRAY) 1" PROJECTION
  - ◇ METAL RAILING
  - ◇ SPLT FACE PLANTER TYPICAL
  - ◇ ALUMINUM DOWNSPOUT



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NO.	DATE	BY

OWNER

IM DEVELOPERS

PROJECT

13906 W VAN NUYS BLVD  
LOS ANGELES, CA. 9331

DRAWING TITLE

ELEVATION

DATE: 20 December 2021

SCALE: 1/8"=1'-0"

DRAWN:

APPROVED:

JOB: 20-002

SHEET

**A3.1**

OF SHEETS



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NO.	DATE	BY	REVISION


OWNER  
 IM DEVELOPERS

PROJECT  
 13906 W VAN NUYS BLVD  
 LOS ANGELES, CA, 9331

DRAWING TITLE  
 RENDERING FROM  
 MAIN ELEVATION

DATE: 20 December 2021  
 SCALE:  
 DRAWN:  
 APPROVED:  
 JOB: 21-000  
 SHEET:

A3.2  
 OF SHEETS



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PROJECT  
 13906 W VAN NUYS BLVD  
 LOS ANGELES, CA. 9331

DRAWING TITLE  
 RENDERING FROM  
 MAIN ELEVATION

DATE: 22 December 2021  
 SCALE:  
 DRAWN:  
 APPROVED:  
 JOB: 20-032  
 SHEET:

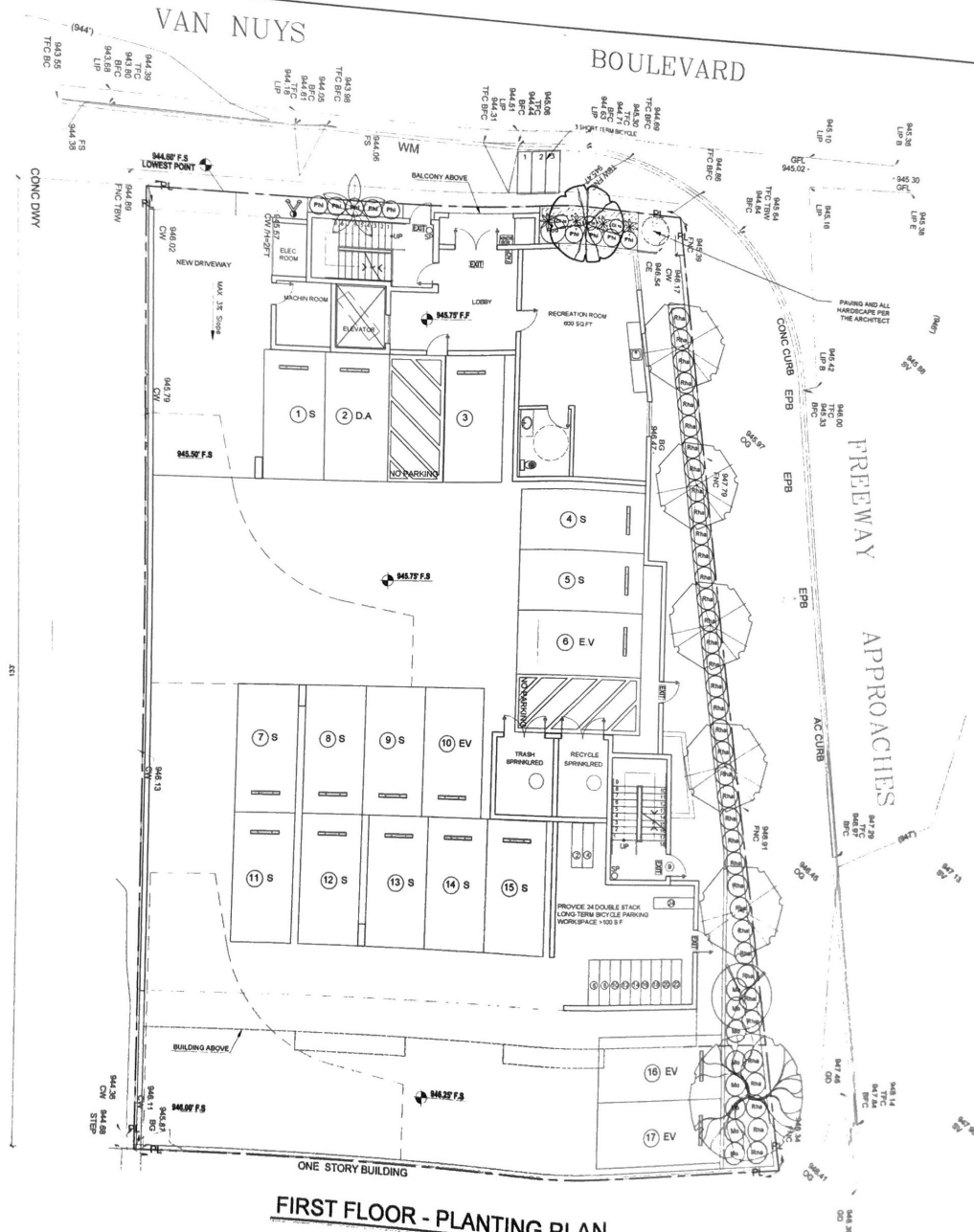
A3.3











**FIRST FLOOR - PLANTING PLAN**

SCALE: 1/8"=1'-0"

SEE SHEET L-3 FOR PLANTING NOTES, LEGEND AND DETAILS

NOTE: ALL PLANTERS NOT OVER NATURAL GRADE REQUIRE SPECIAL STRUCTURAL CALCULATIONS BY OTHERS

NOTE: ALL DRAINS, AIR GAPS, WATER PROOFING AND PLANTER SPECIFICATIONS BY OTHERS THESE PLANS ARE FOR PLANTING AND IRRIGATION ONLY. DO NOT ALTER OR PUNCTURE ANY WATER PROOFING.

**LANDWELL DESIGN**

10847 Wilshire Ave  
Beverly Hills, CA 91604  
310.488.2577  
landwell@landwell.com

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REVISION BY


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IM DEVELOPERS

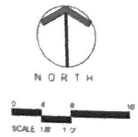
PROJECT  
13908 W VAN NUYS BLVD  
LOS ANGELES, CA 91331

DRAWING TITLE  
FIRST FLOOR -  
PLANTING PLAN

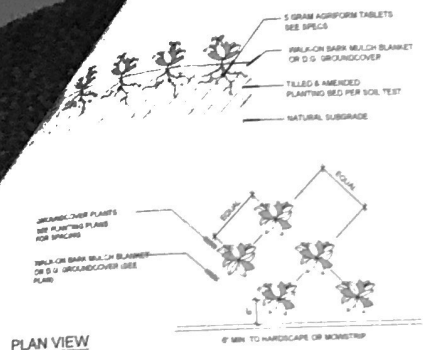
DATE 12/15/2023  
SCALE 1/8"=1'-0"  
DRAWN SA  
APPROVED  
JOB 24-054  
SHEET

**L-1**  
1 OF 11

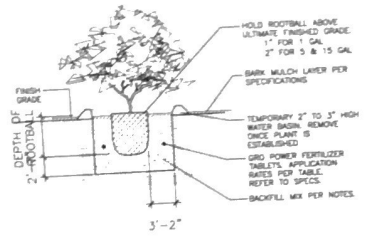
PLANNING AND ZONING INFORMATION  
PROPOSED 4-UNIT APARTMENT BUILDING 4 STORES  
RESIDENTIAL BUILDING WITH GARAGE PARKING ON FIRST FLOOR  
ADDRESS 13908 W VAN NUYS BLVD, LOS ANGELES, CA 91331  
LOT AREA 32,267.2 SQ (PER ZMAB)



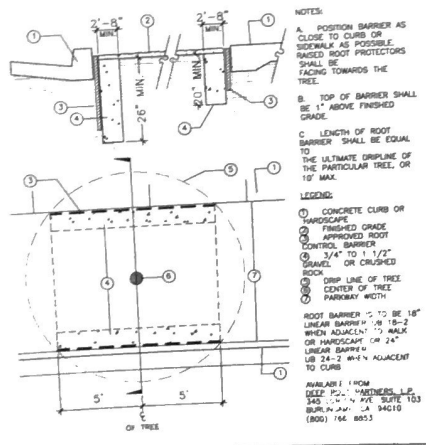




PLAN VIEW  
1 GROUND COVER PLANTING



2 SHRUB PLANTING DETAIL



3 ROOT BARRIER

PLANTING INSTALLATION NOTE

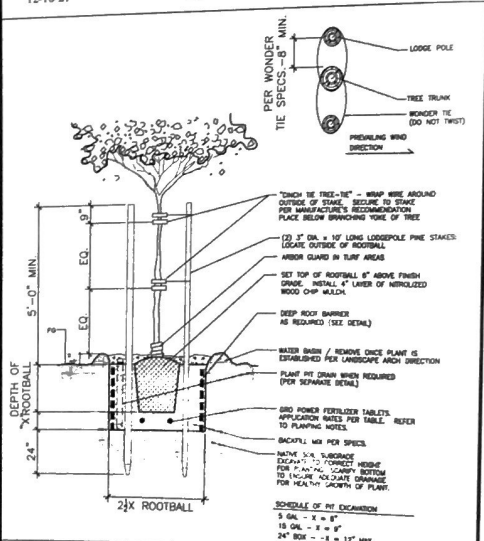
AGRIFORM TABLETS AND MULCH ARE TO BE PLACED IN THE BED OF THE TREE OR PLANTER BY THE LANDSCAPER AND NOT THE CONTRACTOR. ALL PLANT MATERIALS TO BE PLACED IN THE BED OF THE TREE OR PLANTER BY THE CONTRACTOR. ALL PLANT MATERIALS TO BE PLACED IN THE BED OF THE TREE OR PLANTER BY THE CONTRACTOR.

PLANTING NOTES

1. A minimum of 3-inch layer of cedar bark mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated. 2. All trees to be planted with commercial root barriers. 3. Use class I or class II Compost as a soil amendment in all landscaped areas. 4. For soils less than 6% organic matter in the top 5 inches of soil, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil. 5. Recirculating water shall be used for water features.

COMPLIANCE NOTE: I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

SIGNATURE: [Signature] 12-18-21



4 DOUBLE STAKED TREE

PLANT LEGEND

SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	MUCOLS PF	SIZE AT MATURITY	YEARS	REMARKS
TREES								
⊕	Lagerstroemia indica x laura 'Muskogee'	Muskogee Crape Myrtle	5	24" Box	M	28'x15'	15	
⊕	Geijera parviflora	Australian Willow	1	36" Box	L	35'x25'	15	
⊕	Washingtonia hybrida	Hybrid Fan Palm	1	28" B.T.H.	L	60'x15'	35	
⊕	Olea europaea 'Mornier'	Majestic Beauty Fruitless Olive	1	36" Box	M	30'x25'	10	
⊕	Cercis occidentalis	Eastern Redbud	1	36" Box	L	28'x15'	10	
⊕	Rhapisolepis x 'Montic'	Majestic Beauty Indian Hawthorn	3	24" Box	M	25'x10'	10	Std. Maintain as Tree
⊕	Tristania conferta	Brisbane Box	1	24" Box	M	50'x25'	10	

PLANT LEGEND

SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	MUCOLS PF	SIZE AT MATURITY	YEARS	REMARKS
SHRUBS								
⊕	Aeonium 'Sunburst'	Copper Pinwheel	2	5gal	L	2'x2'	2	
⊕	Asparagus densiflorus 'Myers'	Foxtail Fern	4	5gal	M	2'x2'	2	
⊕	Dianella tasmanica 'Silver Streak'	Variegated Flax Lily	33	5gal	M	3'x2'	3	
⊕	Echeveria 'Afterglow'	Echeveria	2	5gal	L	3'x2'	3	
⊕	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	22	1gal	L	1'x1'	1	
⊕	Moraea bicolor	Fortnight Lily	8	5gal	L	2'x2'	1	
⊕	Philodendron x 'Xanadu'	Xanadu Philodendron	9	15gal	M	4'x3'	3	
⊕	Podocarpus elongatus 'Monreal'	Ice-Blue Yellow-Wood	1	15gal	M	20'x10'	10	12' High Screening Hedge
⊕	Rhapisolepis indica 'Clarif'	Indian Hawthorn	38	5gal	M	5'x5'	3	
GROUND COVER								
⊕	Carex oshamensis 'Everglow PPAP'	EverColor Everglow Sedge	16	1gal @ 12" c	L	18"X18"	1	

LANDSCAPE CALCULATION

REQUIRED	PROVIDED
PROJECT SITE: 32,267.2 SQ FT	24" Box trees: 9x1=9 36" Box trees: 3x3=9
POINTS REQUIRED: 20	Use of Class I or Class II compost as a soil amendment in all landscaped areas: 3 TOTAL POINTS: 21

NOTE: ALL DRAINS, AIR GAPS, WATER PROOFING AND PLANTER SPECIFICATIONS BY OTHERS. THESE PLANS ARE FOR PLANTING AND IRRIGATION ONLY. DO NOT ALTER OR PUNCTURE ANY WATER PROOFING.

NOTE: ALL WATER PROOFING AND PLANTER SPECIFICATIONS BY OTHERS. THESE PLANS ARE FOR PLANTING AND IRRIGATION ONLY.

**LANDWELL DESIGN**  
10000 Wilshire Blvd  
Suite 100  
Los Angeles, CA 90048  
Tel: (310) 206-1111  
www.landwell.com

OWNER: [Redacted]

PROJECT: 13906 W VIAN NUYS BLVD, LOS ANGELES, CA 91331

DRAWING TITLE: PLANTING NOTES, LEGENDS AND DETAILS

DATE: [Redacted]  
SCALE: [Redacted]  
DRAWN: SA  
APPROVED: [Redacted]  
JOB: 21-054  
SHEET: L-3  
3 OF 11

















... be prepared twigs and branches, and to compensate for loss of roots during transplanting, but never to the Landscape Architect, pruning may be done before delivery of plants, but not before plants have been delivered to the site. Plants of an inch in diameter shall be painted with tree wound paint.

... tree guying details and as herein specified. Protective stakes may be planted with the tree, driving them into the ground until 18 inches remains above ground level. Support stakes fall enough to support the particular tree shall be driven into the ground at right angles to the trunk as possible but high enough so the tree will return to upright after deflection from wind. Ties shall be placed as low on the trunk as possible but high enough so the tree will return to upright after deflection from wind. Ties shall be placed as low on the trunk as possible but high enough so the tree will return to upright after deflection from wind. Ties shall be placed as low on the trunk as possible but high enough so the tree will return to upright after deflection from wind.

... shall be planted in the areas indicated on the plans. Ground cover plants shall be grown in flats, peat pots, or taken as cuttings, as indicated on the plans. If plants from peat pits are used, the pots shall be protected at all times prior to planting to prevent unnecessary drying of the root ball. Unrooted plants shall be 10 inches or more in length. They shall be insect and disease free tip cuttings from healthy, vigorous and strong growing plants. Mature or unrooted plants shall not be allowed to dry or wither.

... shall be planted in straight rows and evenly spaced, unless otherwise noted, and at intervals called out in the drawings. Triangular spacing shall be used unless otherwise noted on the plans.

2. Each rooted plant shall be planted with its appropriate amount of flat soil or in a peat pot, in a manner that will insure minimum disturbance of the root system, but in no case shall this depth be less than two nodes. To avoid drying out, plantings shall be immediately sprinkled after planting until the entire area is soaked to the full depth of each hole, unless otherwise noted on the drawings.

**E. Lawn**  
Lawn shall be planted by hydroseeding and sodded as indicated on the plans. All areas shall be free from weeds and weed residue.

**F. Hydroseeding:**  
Hydroseeding shall include application of mulch, fertilizer and seed planting bed preparation, pre and post-planting irrigation.

1. After soil preparation, establishment of final grades and weed control, the surface two (2) inches of soil shall be loosened by harrow rototiller and floated level and irrigated just prior to planting.
2. Preparation: The slurry preparation shall take place at the site of work and shall begin by adding water to the tank when the engine is at half throttle. When the water then be added followed by wood pulp mulch, good recirculation shall be established and at this time the seed and chemical additive shall be added. Fertilizer shall be added to the mixture after the tank is half filled with water. All the wood pulp mulch shall be added by the time the tank is two-thirds to three-fourths full. Application rates:  
Fiber 1,500 lbs. per acre.  
Seed See plans  
Gro-Power Plus 1,200 lbs. per acre (if area has been soil prepped, only use 400 lbs. per acre)  
Chemical Additives 3 gallons per acre  
Urea Formaldehyde 300 lbs. per acre
3. Application: The operator shall spray the area with a uniform visible coat by using the green color of the wood pulp as a guide. The slurry shall be applied in a sweeping motion, in an arched stream so as to fall like rain allowing the wood fibers material to spread at the required rate per acre.
4. Time Limit: All slurry mixture which has not been applied within two hours after mixing will be rejected and removed from the project at the contractors expense.
5. Irrigation: Immediately after completion of hydroseeding, each area shall be irrigated. Irrigation during the germination period of the seeds shall keep the hydro-mulch moist at all times without creating run-off, erosion or over-saturation. The irrigation system is to be in operating condition and have been tested before planting is started.

**V. ESTABLISHMENT AND MAINTENANCE PERIOD**  
The contractor shall continuously maintain all areas involved in this contract during the progress of the work and during the establishment period until final acceptance of the work by the Owner. The contractor shall request an inspection to begin the plant establishment period after all planting and related work has been completed in accordance with the Contract Documents. A prime requirement is that all lawn areas shall show an even, healthy stand of grass seedlings which shall have been mowed twice. If such criteria is met to the satisfaction of the Landscape Architect, a field notification will be issued to the contractor to establish the effective beginning date of the plant establishment and maintenance period. Any day when the contractor fails to adequately maintain plantings, replace unsuitable plants or do weed control or other work, as determined necessary by the Landscape Architect, will not be credited as one of the plant establishment working days. Any day when the contractor fails to adequately maintain plantings, replace unsuitable plants or do weed control or other work, as determined necessary by the Landscape Architect, will not be credited as one of the plant establishment working days. Any day when the contractor fails to adequately maintain plantings, replace unsuitable plants or do weed control or other work, as determined necessary by the Landscape Architect, will not be credited as one of the plant establishment working days. Any day when the contractor fails to adequately maintain plantings, replace unsuitable plants or do weed control or other work, as determined necessary by the Landscape Architect, will not be credited as one of the plant establishment working days.

- A. All areas shall be kept free of debris and all planted areas shall be weeded and cultivated at intervals of not more than ten (10) days. Watering, mowing, rolling, edging, trimming, fertilization, spraying and pest control, as may be required, shall be included in the establishment period.
- B. The contractor shall be responsible for maintaining adequate protection of the area. Damaged areas shall be repaired at the contractors expense.
- C. Between the 15th day and the 20th day of the establishment period, the contractor shall reseed all spots or areas within the lawn where normal turf growth is not evident.
- D. Fertilize all planting areas with the following - See soil notes.
- E. Mowing of turf will commence when the grass has reached a height of two inches. The height of cut will be 1 to 1-1/2 inches. Mowing will be at least weekly after the first cut. Turf must be well established and free of bare spots and weeds to the satisfaction of the Landscape Architect prior to final acceptance.
- F. The contractors maintenance period will be extended if these provisions are not filed.
- G. Clean-up  
The contractor shall keep the premises free from accumulation of waste materials and debris. After all planting operations have been completed, the contractor shall remove all trash, excess soil, empty plant containers, tools, and equipment used in this work and/or any other debris resulting from his work on the site. Any cars, nuts, or mars in the area caused by the landscape work shall be repaired at the contractors expense. The contractor shall leave the site area broom clean and shall wash down all paved areas within the contract area leaving the premises in a clean condition.

**GUARANTEE AND REPLACEMENT**  
A. All plant material installed under the contract shall be guaranteed against any and all poor, inadequate or inferior materials and/or workmanship for a period of one year. Any plant found to be dead or in poor condition due to faulty materials or workmanship, as determined by the Landscape Architect, shall be replaced by the contractor at his expense.  
B. Any materials found to be dead, or in poor condition during the establishment period shall be replaced immediately. The Landscape Architect shall be the sole judge as to the condition of material. Material to be replaced within the guarantee period shall be replaced by the contractor within 15 days of written notification by the Owner.  
C. Replacement shall be made in the same manner as required for original plantings. Materials and labor involved in the replacing of material shall be supplied by the contractor at no additional cost to the Owner.

**VI. INSPECTIONS**  
Normal progress inspection shall be requested from the Landscape Architect at least 72 hours in advance of an anticipated inspection. An inspection will be made by the Landscape Architect on each of the steps listed below. The contractor will not be permitted to initiate the succeeding steps of work until he has received written approval to proceed by the Owner.

- A. Immediately prior to the commencement of the work on this section
- B. Completion of fine grading
- C. Completion of soil conditioning
- D. Prior to application of post-emergent weed killers.
- E. Pre or post-delivery of all plant material
- F. Completion of major plant layout
- G. Prior to hydroseeding or installation of sod
- H. Commencement of maintenance
- I. Completion of first 30 day maintenance period

Final Acceptance of the Project Prior to the date of the final inspection, the contractor shall acquire from the Owner approved mylar prints, and finally record from the job record set all changes made during construction, label said prints As-Builts, and deliver to the Landscape Architect. Prior to the date of final inspection, the contractor shall deliver to the Landscape Architect the Landscape and Irrigation Guarantee as required.

**SOIL NOTES**  
1. Soil Preparation - add 50 lbs of Agricultural Gypsum 1,000 sq ft  
2. Backfill shall consist of the following:  
7 parts native on site soil, by volume  
3 parts nitroized shavings, by volume 16 lbs. Gro-power Plus per cubic yard of mix  
3. Hydro-seeding - For already soil prepared areas, apply 280 lbs Gro-power H-Nitrogen per acre  
For non-prepped soil areas, apply 1,000 lbs. Gro-power Plus and 300 lbs Gro-power Controlled release per acre  
4. Maintenance - Feed with 20 lbs Gro-power Plus 1,000 sq ft. on days 45 and 85 of maintenance

**NOTES**  
The above materials are for bid purposes only. The exact materials will be determined after the grading is completed, along with a soils test by the Landscape Contractor

**AGRONOMIC SOIL REPORT**  
Contractor shall obtain an agronomic soil report prior to start of construction. This report is required for pre-installation meeting along with all it's recommended material being on-site for inspection prior to beginning work.

**LANDWELL DESIGN**  
10807 Wilshire Ave  
Beverly Hills, CA 90210  
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DATE 12/28/2011  
SCALE 1/8"=1'-0"  
DRAWN SA  
APPROVED  
JOB 21-04  
SHEET

**L - 11**  
11 OF 11

OWNER  
IM DEVELOPERS  
PROJECT  
13906 W VAN NUYS BLVD  
LOS ANGELES, CA 91331  
DRAWING TITLE  
PLANTING SPECIFICATIONS

M E C H A N I C A L